

**Draft Lambeth Site Allocations DPD**

**SA2 - St Thomas' Hospital SE1**

**Evidence**



**January 2022**

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## **1. Introduction**

### SADPD Objectives

- 1.1 This evidence demonstrates the approach taken to understanding the design-led optimisation of the site to inform the content of the draft site allocation policy for this site.
- 1.2 This evidence is in several parts. Part 2 contains an assessment of the site and its context and analysis of the opportunities and constraints these present. That assessment has informed the key design principles for approaching development on the site as set out in Part 3. The detailed analysis has allowed an indicative approach to massing and height to be developed which is set out in Part 4. The indicative approach has been tested to ensure it meets the key design principles and this testing is explained in Part 5. Part 6 concludes the evidence with the identification of key design considerations to be included within the SADPD Policy itself.
- 1.3 The indicative approach included in this evidence is one way to achieve design-led optimisation of the site, assuming it is comprehensively redeveloped. The indicative approach is for testing purposes only and does not have the status of planning policy or guidance. It is not intended to be prescriptive. Applicants and their architects are expected to develop their own approaches to optimisation of capacity within the context of the parameters, constraints and opportunities set out in the site allocation policy.
- 1.4 The indicative approach massing, in combination with land use analysis, has informed the approximate land use quantum included within the draft site allocation policy. As the indicative approach does not include detailed floor plan designs, a number of standard assumptions have been used to approximate the potential number of residential units, including London Plan space internal standards, London Plan and Local Plan external amenity space standards, Local Plan requirements for dual aspect residential units, Local Plan policy for dwelling size mix, and best practice separation distances for that context. For this reason, the indicative quantum included in the draft allocation is approximate and should not be read as absolute minima or maxima. Applicants and their architects may be able to demonstrate a different figure based on alternative design solutions to the site. Detailed planning assessment of design proposals at pre-application and planning application stage may also result in a variation on the indicative figures included in the draft site allocation policy.
- 1.5 Building height definitions can be found in Local Plan Policy Q26 . As storey heights vary according to the building use, they are not an accurate means to gauge height. For that reason, building heights are expressed in metres rather than storeys. Additionally, above Ordnance Datum (AOD) height is used to aid understanding of site and context topography in those circumstances where the topography is varied.
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## 2. Site Appraisal / Analysis

### Site Overview

2.1 Details of the site are outlined below:

#### Site Address

St Thomas' Hospital, Westminster Bridge Road, SE1

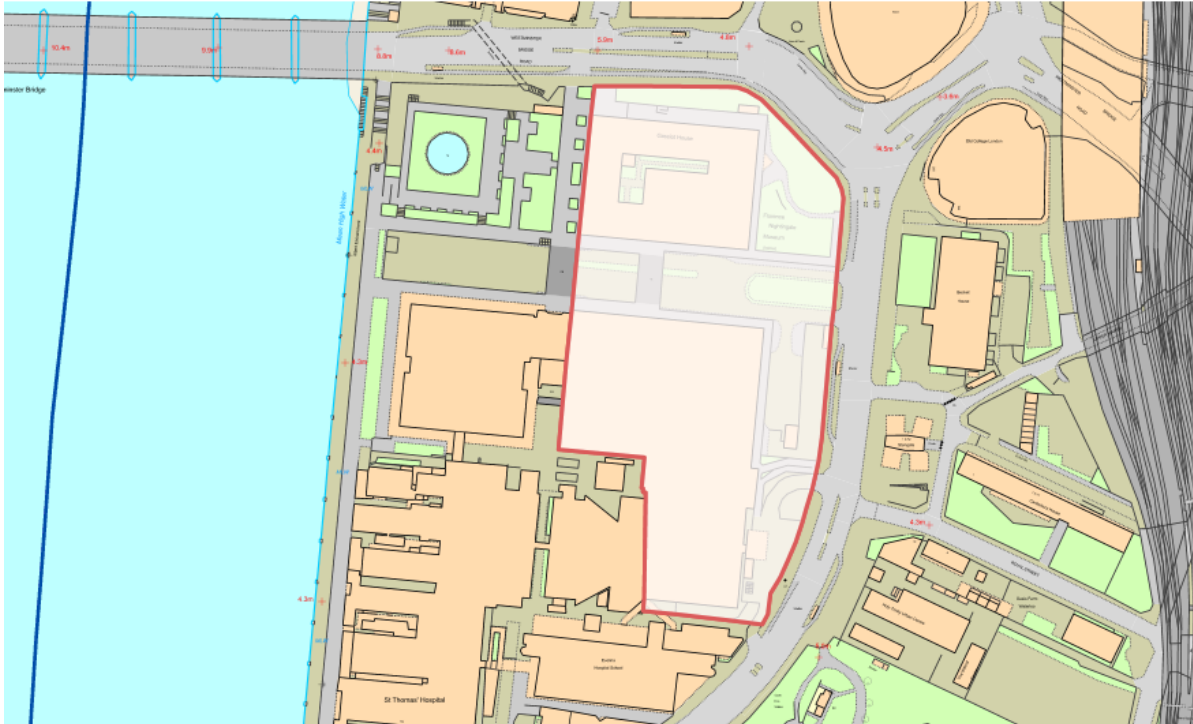


Figure One – Site Allocation boundary

## Site and Context Photographs

2.2 The photographs in this section show the site and its context.



Figure 2 - Gassiot House from Lambeth Palace Road

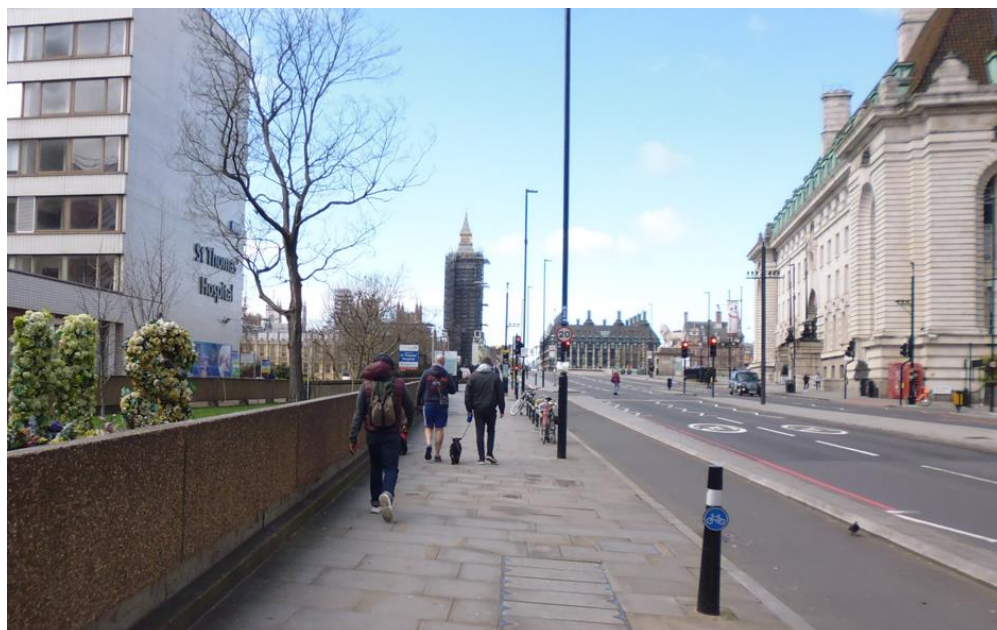


Figure 3 – Gassiot House in the immediate setting of the Westminster World Heritage Site.





Figure 4 - A&E building and Lambeth Wing as viewed from Lambeth Palace Road



Figure 5 - A&E building viewed in context with East Wing (to rear) and Evelina Hospital (to left)

### **Site Character and Brief History**

- 2.3 St Thomas’s Hospital has occupied this site since the 1870s when the river frontage was transformed by the erection of the Albert Embankment. The campus’s river frontage extends pretty much the entire frontage of Albert Embankment between Westminster Bridge (north of the campus) and Lambeth Bridge (south of the campus).
- 2.4 The principal architectural frontage of the Hospital campus is that presented to the Albert Embankment pedestrian path along the River Thames. Immediately opposite and occupying a similarly sized frontage is the Palace of Westminster (see later).
- 2.5 Lambeth Palace Road was laid out at the same time the Hospital was erected and ran parallel to the river Thames. In the 1960s Lambeth Palace Road was realigned to the east in order to allow the hospital campus to expand eastwards. The hospital’s northern section had been damaged by enemy action during the Second World War and in the post-war decades that end of the campus was redeveloped and expanded eastwards to meet the new alignment of Lambeth Palace Road. The majority of that work was undertaken in the 1970s by Yorke Rosenberg Mardall (YRM) architects and comprises of well-detailed blocks clad in a pale tile which mimics the appearance of Portland stone with contrasting brown metal windows; the effect is successful and provides the northern half of the campus with a strong, cohesive character. The individual buildings within the campus are outlined below:

South Wing and Block 9,	The surviving parts of the original 1870s building fronting the River Thames. In places degraded by subsequent inappropriate alterations (prior to listing). Designated heritage assets.
St Thomas House	Inter-war brick building at south end of campus adjoining Lambeth Palace Road. In red brick with artificial stone trim A positive contributor to the AECA.
Dunhill Fitness Centre	Low-rise building to east of St Thomas’ House. Not considered to be a non designated heritage asset.
North Wing	YRM building. Lower ground plus eight storeys in the YRM signature style / palette. The largest and most prominent of the buildings on the site, its rooftop is cluttered with masts and plant to ill effect. Height - 57m AOD. Not considered to be a non designated heritage asset.
Gassiot House	YRM building. Lower ground plus eight storeys in the YRM signature palette. Height – 32m AOD. Not considered to be a non designated heritage asset.
Lambeth Wing	YRM building. Lower ground plus 6 storeys in the YRM signature style / palette. Height - 31m AOD. Not considered to be a non designated heritage asset.

East Wing	T planned post-war tower that has been over-clad and extended. Height – 57m OAD. Not considered to be a non designated heritage asset.
A&E	Low-rise YRM building fronting Lambeth Palace Road – the least coherent of the YRM buildings on the campus. Not considered to be a non designated heritage asset.
Evelina Children’s Hospital	Seven to eight storey building in terracotta cladding with a large, curved glass roof. Designed by Michael Hopkins and Partners, the building was completed in 2005. It is a high quality building but is deemed to have a harmful effect on the setting of Lambeth Palace’s garden (see later). Height – 39m AOD. It is not considered to be a non designated heritage asset.

- 2.6 The surviving buildings of the 19<sup>th</sup> Century hospital (South Wing and Block 9) are grade II listed along with the boundary wall to the River Thames and a number a sculptures (see later). The hospital is also enriched with numerous public art works including a recent memorial to Mary Secole and a grade II listed fountain.
- 2.7 The YRM redevelopment in the 1970s created a new garden in the NW corner of the campus (adjoining Westminster Bridge), a soft landscaped area along the northern edge of the campus (to Westminster Bridge Road) and two soft landscaped spaces to Lambeth Palace Road. The latter spaces contain a number of mature trees. The campus expansion necessitated the loss of an open space named the Stangate Triangle which benefited from protection under the London Square’s Preservation Act. It is believed, but unconfirmed, that some of these open spaces on the campus were provided in compensation for its loss.



Figure 6 - The landscaped area along the northern edge of the Campus provides an attractive setting for views of the WWHS in approaches from the east. The Elizabeth Tower terminates the view.

- 2.8 Vehicular access is off Lambeth Palace Road where parking / servicing areas and ramps have an negative effect on amenity. Much of the campus parking is at lower ground level and segregated from pedestrian activity which is primarily on a pedestrian deck at raised ground level. Accident & Emergency has separate ramped access for ambulance drop off. The



principal level pedestrian access into the campus is from Westminster Bridge Road and the main entrance into the Hospital is at the northern end of the complex fronting onto the principal garden space.

### Historical Map

2.9 The map below shows the original development of the hospital campus.

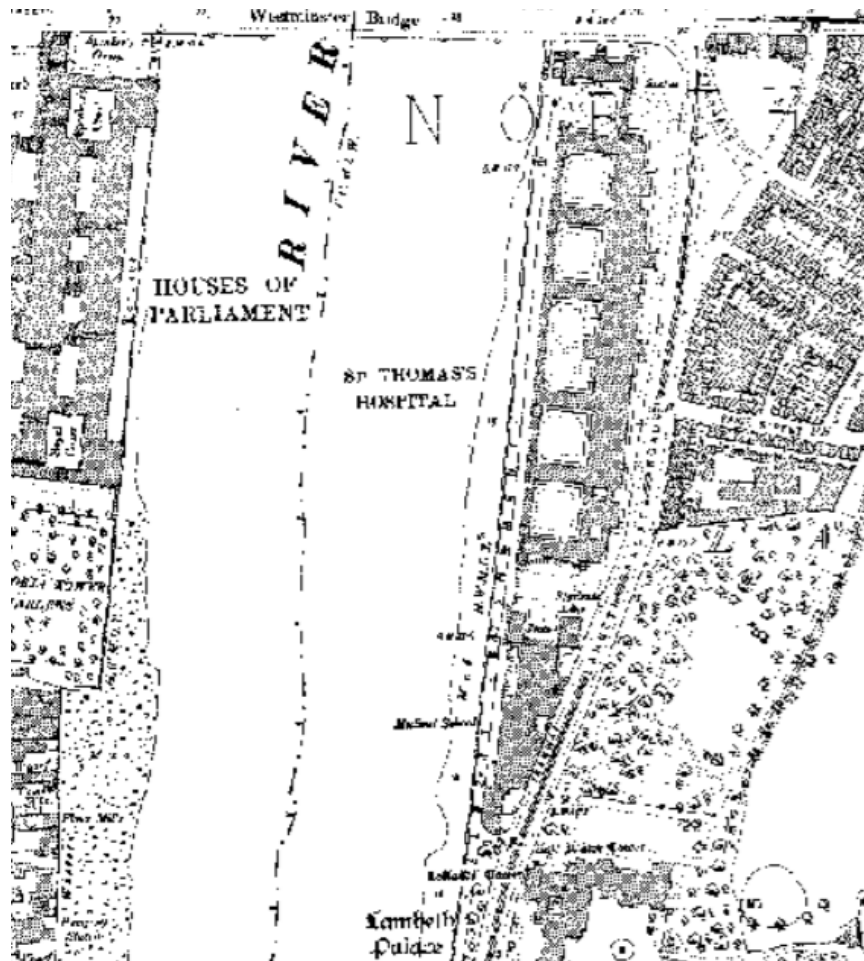


Figure 7 - 1890s OS map – shows the original formal arrangement of hospital wards, the original north south alignment of Lambeth Palace Road, and the Stangate Triangle to the NE of the original campus.

### Site Context

#### Local Character

- 2.10 Waterloo is a key component of central London and part of the central Activity Zone (CAZ). It is characterised by urban building types largely dating from the 19<sup>th</sup> and 20<sup>th</sup> Century and includes a high concentration of heritage assets. Portland stone is a key building material and pale concrete and tile have been used in the locality to mimic its appearance.
- 2.11 The River Thames is a major landmark within the city allowing extensive view of the Hospital campus. The open landscape character of Lambeth Palace Gardens and Archbishop's Park are a key component of local distinctiveness.

- 2.12 Lambeth Palace Road's northern end is wide and leafy and characterised almost completely by large buildings dating from the second half of the Twentieth Century.

#### Building Heights

- 2.13 Building heights vary greatly within the locality. The heights within the Lambeth Palace Conservation Area are generally low – 6m (two storeys) to 12m (four storeys) although the new Lambeth Palace Library is a notable exception. Within the St Thomas's Hospital campus the heights vary greatly too; with the surviving Victorian wings generally being 5 generous storeys. The tallest blocks are The North Wing and East Wing which stand at c55m. At the northern end of the Hospital campus Gassiot House is 27m tall. Opposite, within the Southbank Conservation Area County Hall stands at 43m and County Hall South Block at 36m.

#### Building Uses

- 2.14 Healthcare and health education buildings occupy the whole site.

#### Heritage Assets

- 2.15 There are a number of designated heritage assets within the campus, the following are particularly near the site allocation and this particularly worthy of consideration –
- Hospital's Victorian buildings– Grade II
  - Statue of Edward VII (external) – Grade I listed
  - Statue of Edward VII (internal) – Grade I listed
  - Torsion Fountain – Grade II listed
- 2.16 The whole campus also sits within the Albert Embankment Conservation Area (AECA) which extends southward from Westminster Bridge to Vauxhall taking in the whole River Thames frontage. Detailed analysis can be found in the Albert Embankment Conservation Area Character Appraisal, 2017 which is up-to-date.
- 2.17 Adjoining the site are the following designated heritage assets:
- 2.18 Westminster World Heritage Site (WWHS) stands across the River Thames to the West. The Outstanding Universal Value of the WWHS is set out in 'The Palace of Westminster and Westminster Abbey including St Margaret's Church World Heritage Site Management Plan, 2007. Protected silhouette designations within London Plan views place a strict height constraint on the campus when viewed from Parliament Square (see designated views). The setting of this internationally recognised designated heritage asset will be a key consideration. Especially in views from the area encompassing Great George Street / Parliament Street / the northern side of Parliament Square.
- 2.19 Additionally much the public realm near the WWHS within Lambeth is within its immediate setting and approaches (see Policy Q19 Lambeth Local Plan) which seeks to ensure that an

appreciation of WWHS is preserved and the public realm of the approaches is of high quality.

- 2.20 The Southbank Conservation Area (SBCA) adjoins the campus to the north. Detailed analysis can be found in the Southbank Conservation Area Statement, 2007.
- 2.21 The County Hall, Westminster Bridge Road, is a grade II\* listed building with a formal front to the River Thames. That façade is the focus of a London Plan view designation (see later).
- 2.22 The Lambeth Palace Conservation Area (LPCA) adjoins to the SE of the campus includes Archbishop's Park and Lambeth Palace gardens / complex including the new Lambeth Palace Library. Detailed analysis can be found in the Lambeth Palace Conservation Area Character Appraisal, 2017 which is up-to-date. The setting of this designated heritage asset will be a key consideration especially in relation to the character of its open spaces.
- 2.23 Lambeth Palace's garden is on the register of historic landscapes.
- 2.24 Lambeth Palace is a grade I listed complex of historic buildings located to the south east of the site. The setting of this designated heritage asset will be a key consideration along with views out from the Palace across its gardens, in strategic views, and in locally designated views from Victoria Tower Gardens.
- 2.25 The following Non-Designated Heritage Assets are relevant.
- 2.26 The campus sits within the North Lambeth Archaeological Priority Area which is non-designated asset (archaeological) recognised through Policy Q23 (local heritage list) of the Revised Lambeth Local Plan (2021).
- 2.27 The following nearby assets are on the Council's Local heritage List:
- County Hall South Block, York Road / Westminster Bridge Rd (structure) adjoins to the north
  - Archbishop's Park (local list landscape)

## **Designated Views**

### Strategic Views

- 2.28 The following London Plan views relate to this site:
- View 18A – Westminster Bridge: upstream
  - View 19A – Lambeth Bridge
  - View 20A – Victoria Embankment between Waterloo and Westminster Bridges
  - View 23 – Bridge over the Serpentine to Westminster
  - View 27B – Parliament Square to Palace of Westminster
- 2.29 In relation to view 27B, Gassiot House at the NE corner of the campus is visible to the left of the Elizabeth Tower and thus sits within the wider setting of the WWHS. The effect of development on the site of the adjoining Beckett House (immediately behind Gassiot House in the view) has already been explored in detail within the tall buildings evidence for the Lambeth Local Plan, 2021. See Waterloo tall Buildings Study, 2018 and Lambeth tall Building Topic Paper, 2019. The c60m building height identified for Location 7 in the Annex 10 map

within the Lambeth Local Plan reflect the findings of that analysis. Gassiot House, sitting closer to the WHS than Beckett House, is subject to the same heritage sensitivities.

#### Local Views

- 2.30 The following views are designated within Draft Revised Lambeth Local Plan Policy Q25 (c):
- Panorama (i) (c) Brockwell Park N and NNE to the city
  - Panorama (ii) Norwood Park to the city
  - Landmark Silhouette (ix) View W from Lambeth Palace' garden to the houses of parliament (Victoria Tower) as viewed through the gap between St Thomas' Hospital block 8 and the Guys and St Thomas's Medical School (block 9) -
  - Landmark Silhouette (xi) St Thomas' Hospital garden to Houses of Parliament (including Westminster Bridge)

#### **Routes, Access, Servicing and Public Realm**

- 2.31 The principal pedestrian entrance from Westminster Bridge Road has generous public realm, the entrance area is attractive and the main entrance legible.
- 2.32 All vehicular servicing is from Westminster Bridge Road

#### **Trees**

- 2.33 The river frontage of the Hospital campus is lined with mature London Plane trees which are of very high amenity value. Similarly, there is an attractive group of mature planes on the frontage of Lambeth Palace Road at Block 9 and the Prideaux Building.
- 2.34 Mature tree the southern and eastern side of Gassiot House have a high amenity value along with those adjoining Westminster Bridge on Westminster Bridge Road.
- 2.35 The principal Hospital garden is raised on a deck over lower ground floor parking and as a result its soft landscaping s generally limited to shrubs and small trees in purpose built planters. The space still has high amenity value.
- 2.36 The soft landscaped strip to the north of Gassiot House contains some trees and shrubs and has amenity value. The contribution it makes to the openness of Westminster Bridge Road is of value as it allows the Elizabeth Tower (a key component of the Westminster World Heritage Site) to be appreciated by pedestrians on the approach from the east.

#### **Planning and Emerging Context**

- 2.37 Planning permission has been granted for the redevelopment of the Prideaux Building and the extension and refurbishment of Block 9 which are both occupied by King's College London. Case ref. 16/02387/FUL. A proposed extension to the Evelina Hospital has a resolution to grant permission.
- 2.38 Policy PN1 'Waterloo and South Bank' of the Lambeth Local Plan sets out the policies for the neighbourhood. Annex 11 of the Lambeth Local Plan identifies locations deemed suitable for tall building development. It includes land to the immediate east of the Hospital Campus

- Beckett House (Location 7 – Lambeth Palace Road / Upper Marsh – 60m AOD) , and Stangate House / Canterbury House (Location 8 – Royal Street / Upper Marsh – 50m AOD). These buildings are subject to their own draft Site Allocation policy (SA1).

### Site Constraints and Opportunities

2.39 The site constraints and opportunities are set out in the table below

Constraints	Opportunities
<p><u>Trees of value</u></p> <ul style="list-style-type: none"> <li>• The mature trees to the east and south of Gassiot House</li> <li>• The mature trees to the east of Block 9</li> </ul> <p><u>Amenity space</u></p> <ul style="list-style-type: none"> <li>• The main hospital garden in the NE corner of the campus is of high amenity value and the view location of an important view.</li> <li>• The creche garden east of Gassiot House has important amenity value.</li> <li>• The principal garden in the NW corner of the Campus has important amenity value.</li> </ul> <p><u>Westminster World Heritage Site setting</u></p> <ul style="list-style-type: none"> <li>• The protected silhouette in view 27B limits over all height on the Campus to c70 AOD.</li> <li>• The landscaped strip to the north of Gassiot House allows important views of Elizabeth Tower from the east.</li> </ul> <p><u>Heritage assets</u></p> <ul style="list-style-type: none"> <li>• The settings of numerous heritage assets must be preserved. In particular the Westminster World Heritage Site, Palace of Westminster, Westminster Bridge, County Hall, Lambeth Palace, SBCA , LPCA.</li> <li>• Albert Embankment Conservation Area’s special interest must be preserved.</li> </ul> <p><u>Residential Adjacencies</u></p> <ul style="list-style-type: none"> <li>• The County Hall South Block is a residential building. It stands to the</li> </ul>	



north side of Westminster bridge  
Road immediately opposite Gassiot  
House. It is understood that many  
of the units there are single aspect.

- Stangate House stands across  
Lambeth Palace Road to the east of  
A&E




















#### Lambeth Palace Road

- Redevelopment here presents  
opportunities to improve the Hospital's to  
the street frontage here.
- Consolidation of roof-top plant to improve  
appearance of the blocks.

#### YRM campus style and palette

- The YRM buildings give the northern part  
of the campus a strong and unified  
identity due to their calm architecture and  
Portland stone-like colour. It contributes  
to local distinctiveness.

## Key

- |  |   |   |
|--|---|---|
|  Site Boundary  |  Statutorily Listed Building |  Key Road            |
|  Waterloo Opportunity Area                                |  Locally Listed Building     |  Healthy Route       |
|  Waterloo CAZ Retail Cluster                              |  Conservation Area           |  Low Line            |
|  Lower Marsh / The Cut / Leake Street Special Policy Area |  Historic Park and Garden    |  Greenway            |
|  Immediate Setting of the Westminster World Heritage Site |  Open Space                  |  Cycle route         |
|  Archaeological Priority Area                             |   |  Bus stop            |
|  Site of Importance for Nature Conservation (SINC)        |   |  Underground Station |

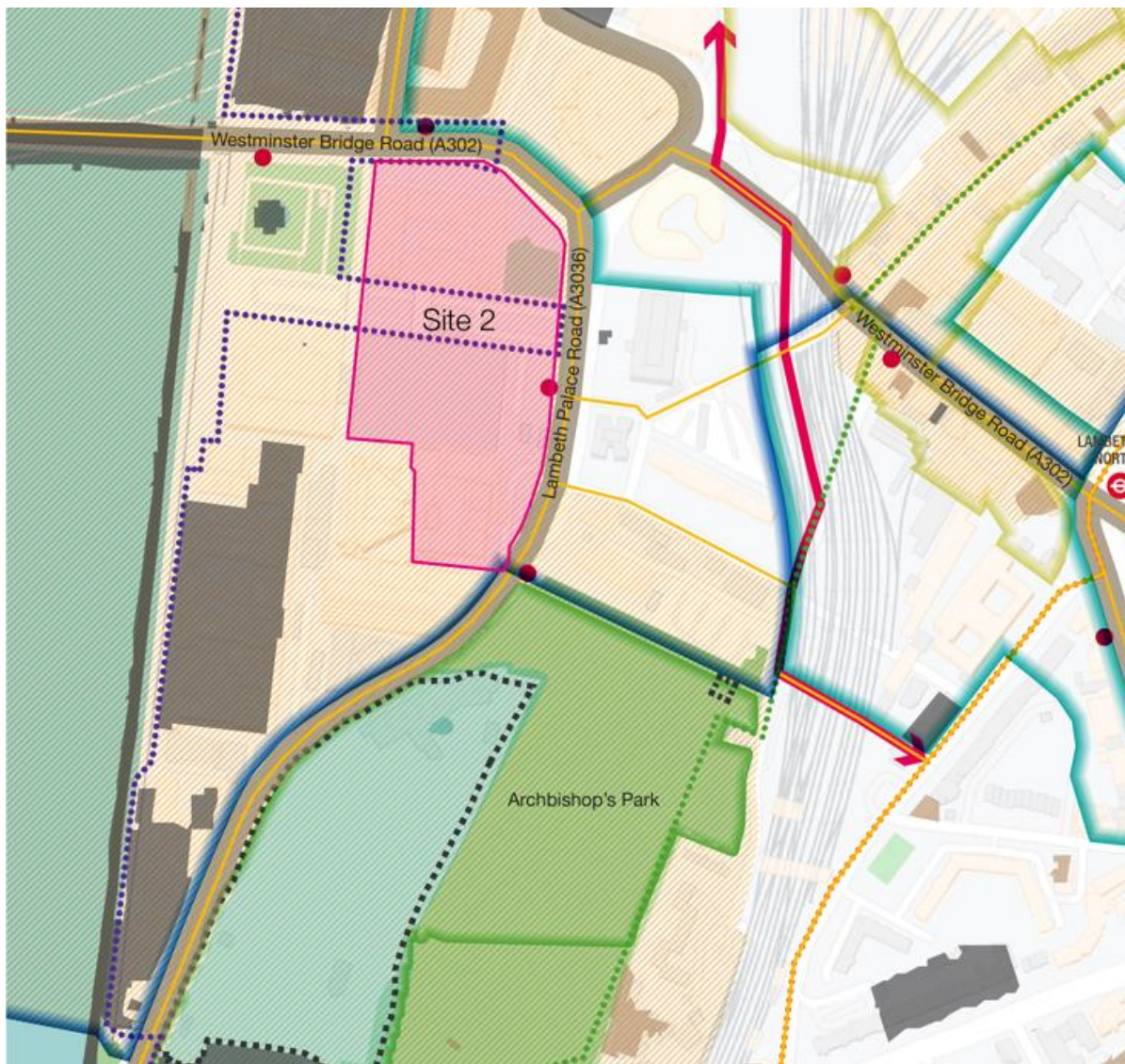


Figure 8 – Site Context map

### 3. Design Approach

#### Key Principles

3.1 In seeking to achieve a design-led optimisation of the site, site -specific design drivers have included:

<b>A</b>	<b>Respect Heritage Assets</b>
	<p>Cause no harm to the Outstanding universal Value (including setting) or the Westminster World Heritage Site by:</p> <ul style="list-style-type: none"><li>• Ensuring building heights are sensitive in strategic view 27B in particular</li></ul> <p>Cause no harm to the significance of the Albert Embankment Conservation Area</p> <p>Cause no harm to the setting of designated or non-designated assets</p>
<b>B</b>	<b>Retain existing open spaces and ensure adequate sunlight to them</b>
	<ul style="list-style-type: none"><li>(i) The principal hospital garden</li><li>(ii) The creche garden to the east of Gassiot House.</li><li>(iii) Linear landscaping to north of Gassiot House.</li></ul>
<b>C</b>	<b>Retain trees of value</b>
	<ul style="list-style-type: none"><li>(i) Line trees to river frontage</li><li>(ii) Group of trees east and south of Gassiot house</li></ul>
<b>D</b>	<b>Townscape</b>
	<ul style="list-style-type: none"><li>(i) Improve the building relationship with Lambeth Palace Road</li></ul>
<b>F</b>	Retain designated Heritage Assets and art works on the hospital campus
<b>G</b>	Have no unacceptable effects on the amenity of residential neighbours.

#### 4. Indicative Approach

##### Indicative Approach - Overview

- 4.1 The Indicative Approach, due to the numerous constraints, limits change to the replacement of the existing YRM blocks along eastern side of the Hospital Campus where it fronts Lambeth Palace Road.

##### Indicative Approach - Layout and Access

- 4.2 Gassiot House is replaced by Indicative Approach Block A which is of similar footprint rising to around 44m which is considered appropriate within London Plan View 27b so that the buildings on the Southbank don't exceed the 60m datum set by the Park Plaza Hotel when viewed from Westminster. The 44m is also comparable to the height of The County Hall complex opposite which is of heritage sensitivity. Ultimately any building on the Gassiot House footprint would need respond to this sensitive context in terms of massing, materials etc., perhaps even mirroring County Hall South Block's parapet line immediately opposite.
- 4.3 Tree and open space constraints to the north, east and south of Gassiot House prevent its footprint being enlarged in those directions. However, there may be scope to advance westward by 10m with a colonnade over the main pedestrian walkway into the Campus.



Figure 9 - Indicative approach Blocks A (green) and B (pink) viewed from above.



### Indicative Approach – Massing and General Building Height

- 4.4 The Indicative Approach replaces the Lambeth Wing (currently 32m AOD) and A & E building with Indicative Approach Block B which has a massing 44m. This block will thus be of subordinate height to the North Wing (c55m) and the East Wing (c55m) and the recently approved Evelina Hospital extension (c55m) which set the upper height limit of the Campus. The building line of Indicative Approach Block B is brought forward closer to Lambeth Palace Road to give a more positive relationship to the street than the current arrangement. However, it retains a distance of 15m to the back edge of pavement along its entire frontage.
- 4.5 The proposed heights of Indicative Approach Blocks A and B are below the 45m threshold definition of a tall building in this location. They are not tall buildings.
- 4.6 The remaining buildings within the Campus remain unaltered given their heritage designations of the high sensitivity of their context. For example, the tallest buildings on the campus (East Wing and North Wing) are already dominant forms in views up and down the River Thames so their further upwards extension has not been explored.

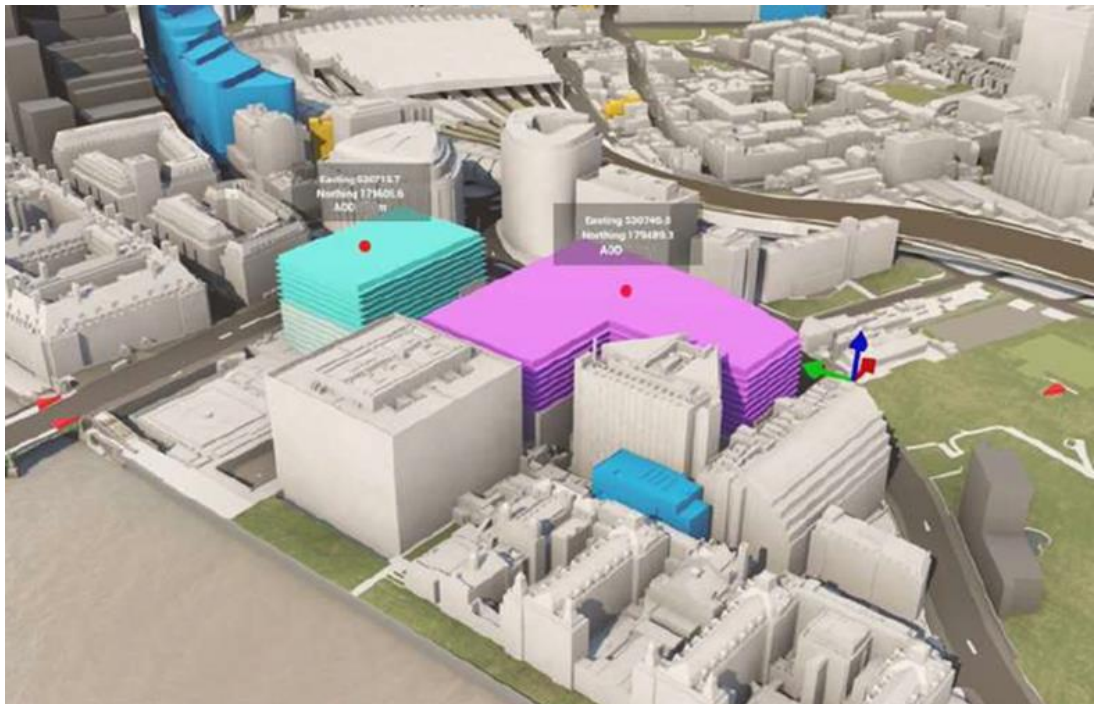


Figure 10 - Indicative approach Blocks A (green) and B (pink) as viewed from SW.

### Indicative Approach - Daylight and Sunlight

- 4.7 In planning the Indicative Approach the objective has been to ensure that it is generally consistent with the established parameters for daylight and sunlight best practice for inner urban / urban locations, having regard in particular to sensitive residential neighbours (the locations of which are identified in the draft site allocation policy), and to the quality of new residential accommodation on the site. That said, any scheme that comes forward would be required to demonstrate an acceptable response to daylight and sunlight constraints and overshadowing and will be independently tested at planning application stage in accordance



with the BRE's publication: 'Site layout planning for daylight and sunlight: a guide to good practice (BR209)' and relevant Mayoral policy and guidance.

## 5. Appraisal of the Indicative Approach

### Townscape and Visual Impact Assessment (TVIA)

- 5.1 Ten views were tested to understand the impact of the Indicative Approach on its context. The detailed analysis on each view is contained in Appendix 1 and the findings are summarised below:

1 London Plan View 17A - Hungerford Bridge Upstream	The Indicative approach models are screened by the roof of County Hall. There is no effect on this view
2 – London Plan View 18.A.3 - Westminster Bridge upstream	The Indicative Approach models sit comfortably within the context – allowing the North Wing of the Hospital to retain its compositional primacy. The silhouette of the historic hospital buildings is unaltered. The general composition of the view is preserved. No harm.
3 – London Plan View 19.A Lambeth Bridge looking downstream towards the Palace of Westminster	The Indicative approach Block A is completely screened by the Hospital campus. Indicative Approach Block B is largely screened by middle ground buildings. The effect on the campus townscape is minor, The effect on the view as a whole is negligible. The WWHS (off camera to the left) remains the dominant form in the composition. No harm.
4 – London Plan view 20A.1 - River Prospect Victoria Embankment between Waterloo and Westminster Bridge Westminster Pier to County Hall	The indicative approach models are seen off the right of County Hall. They do not disrupt the silhouette of the County Hall. Their sympathetic massing causes no harm to the setting of County Hall. No harm.
5 – London Plan View 27B - Palace of Westminster from north side of Parliament Square.	Only Indicative Approach Block A is visible in this view. It is lower than the existing backdrop building in the view (Urbanest) which sets the datum for development here. and its effect on the townscape backdrop will be negligible. The composition of the view is maintained, the primacy of the Elizabeth Tower is respected, the setting of the Palace of Westminster is preserved; and the OUV of the WWHS is sustained. No harm.
6 Westminster Bridge (western end near Boudica statue) looking east	Annex 10 of the Lambeth Local Plan identifies Beckett House as a location appropriate for a tall building and identifies a general height which would be comparable with the Urban Nest building to its left. Indicative Approach Block A stands in front of these buildings and appears lower. The massing of both Blocks is comfortable in this townscape context.
7 - Westminster Bridge – south pavement opposite the Southbank Lion	The increase in height created by Block A creates a built form which positive presents an elevation to Westminster Bridge Road

	(something the current Gassiot House lacks). Assuming that the new campus buildings follow the pale palette of the existing post-war Campus buildings the general effect will be positive – bringing a uniform of height and colour to the Hospital campus frontage.
8 - Great George St at junction with Little George Street	The Indicative approach Block A rise no higher than the Urbanest building which sets the height datum for background development in this view. The townscape effect is positive, the setting of Elizabeth Tower is preserved. The OUV of the WWHS is sustained. No harm.
9 – Archbishops Park	The effect on the setting of the Lambeth Palace Conservation Area and the setting of Archbishop’s Park is negligible.
10 – Serpentine Bridge	Indicative Approach models are not visible. No effect.

### Effect on Heritage Assets

- 5.2 The Indicative Approach has been assessed for its effect on the significance (including setting) of heritage assets. The has required an understanding of the significance of each asset and especially the contribution that the setting makes to that significance. The objective has been to ensure no adverse effect on significance. The conclusions are set out in the below.

<b>Asset and Significance</b>	<b>Effect</b>
<u>Albert Embankment CA</u> – an extensive conservation area taking in the River Thames frontage and much development along it including the St Thomas’ Hospital Campus. The existing A&E building and the areas of parking and hard standing are of poor quality.	Redevelopment on the site presents the opportunity to significantly improve the frontage of the Conservation Area to Lambeth Palace Road. With high quality architecture and a palette of materials that reinforces that of the campus buildings the effect will be beneficial.
<u>Westminster World Heritage Site</u> – setting (Policy Q19) . Gassiot House can be glimpsed in views from the north side of Parliament Square	The Indicative Approach’s replacement of Gassiot House will be in the setting of the WWHS (see TVIA View 5). Its increased height will screen other background development from view and presents opportunity to introduce high quality recessive architecture into the setting of the WWHS. The OUV of the WWHS will be sustained.
<u>Westminster World Heritage Site</u> – approaches (Policy Q19)	Redevelopment on the site presents the opportunity to significantly improve the campus frontage Lambeth Palace Road which is within the approaches to the WWHS. With high quality architecture and improved public realm the effect will be beneficial.

<p><u>Edward VI statue</u> – Grade I - This statue stands outside the Hospital north wing entrance facing towards Gassiot House. It is not reliant on this setting for its significance.</p>	<p>The immediate environment of the statue will change but there will be no adverse effect on setting or significance.</p>
<p><u>The County Hall</u> – Grade II* - this building stands opposite Gassiot House on Westminster Bridge Road.</p>	<p>See TVIA Views 4 and 7. With high quality architecture and a palette of materials that reinforces that of the existing campus buildings the effect on the setting of County Hall will be preserved.</p>
<p><u>St Thomas’ Hospital Victorian Buildings</u> – Grade II – these buildings are separated from the site by the North Block and East Block of the YRM hospital campus.</p>	<p>Given the separation and the large scale buildings between the listed hospital and the site there will be no effect.</p>
<p><u>Torsion fountain</u> – Grade II – standing in the principal garden of the hospital to the east of Gassiot House. The fountain relies on the garden for its setting. The enclosing buildings play little role in its significance.</p>	<p>With high quality architecture and a palette of materials that reinforces that of the existing campus buildings the effect on the setting of the fountain will be preserved.</p>
<p><u>Lambeth Palace Gardens</u> (registered landscape) – these are located a little distance to the south of the A&amp;E building with the Evelina Hospital in between</p>	<p>The recently completed Lambeth Palace Library and the Evelina Hospital effectively screen the Indicative Approach from views within the garden. The effect on setting will be nil.</p>
<p><u>Lambeth Palace</u> – a Grade I listed group of building located some distance to the south of the A&amp;E building.</p>	<p>The recently completed Lambeth Palace Library and the Evelina Hospital effectively screen the Indicative Approach from views within the garden. The effect on setting of Lambeth Palace will be nil.</p>
<p><u>Lambeth Palace Conservation Area</u> – this stands to the east southeast of the A&amp;E buildings on the opposite side of Lambeth Palace Road.</p>	<p>The replacement of the A&amp;E building with high quality architecture and a palette of materials that reinforces that of the existing campus buildings is likely to have a beneficial effect on the setting of the LPCA in views from Lambeth Palace Road. See also view 9 of the TVIA.</p>
<p><u>South Bank Conservation Area</u> - This stands to the immediate north of the campus and the nearest buildings are County Hall and County Hall South Block.</p>	<p>See TVIA Views 4 and 7. With high quality architecture and a palette of materials that reinforces that of the existing campus buildings the setting of SBCA will be preserved.</p>
<p><u>County Hall South Block</u> (local heritage list) - this stands to the immediate north of the campus opposite Gassiot House.</p>	<p>The massing of the Indicative Approach at Gassiot House is similar to that of South Block. In townscape terms the effect will be beneficial in terms of improving the sense of enclosure.</p>

	<p>With high quality architecture and a palette of materials that reinforces that of the existing campus buildings the setting of County Hall South Block will be preserved.</p>
<p><u>Archbishop's Park</u> (local heritage list) this lies to the Southeast of the A&amp;E building across Lambeth Palace Road. Visitors existing the park at Lambeth palace Road look across to the A&amp;E building.</p>	<p>The replacement of the A&amp;E building with high quality architecture and a palette of materials that reinforces that of the existing campus buildings is likely to have a beneficial effect on the setting of the park. See also view 9 of the TVIA – with tree screening and separation the effect on views from within the park is likely to be negligible.</p>



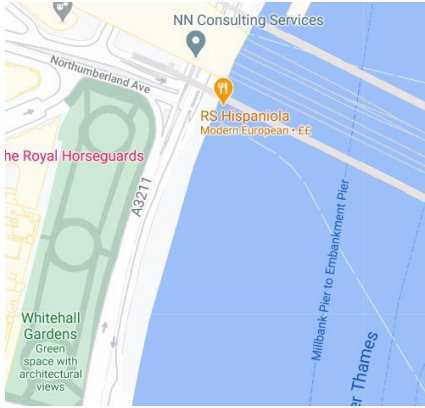


## 6.0 Conclusion

6.1 The indicative approach has been informed by site constraint analysis and has been tested at the level of general massing and height to ensure acceptable impacts in relation to daylight and sunlight, views, townscape, and heritage. This analysis has found the approach to successfully address the various opportunities and constraints identified. In light of this work, it is recommended that the site allocation policy includes the design points outlined in the table below.

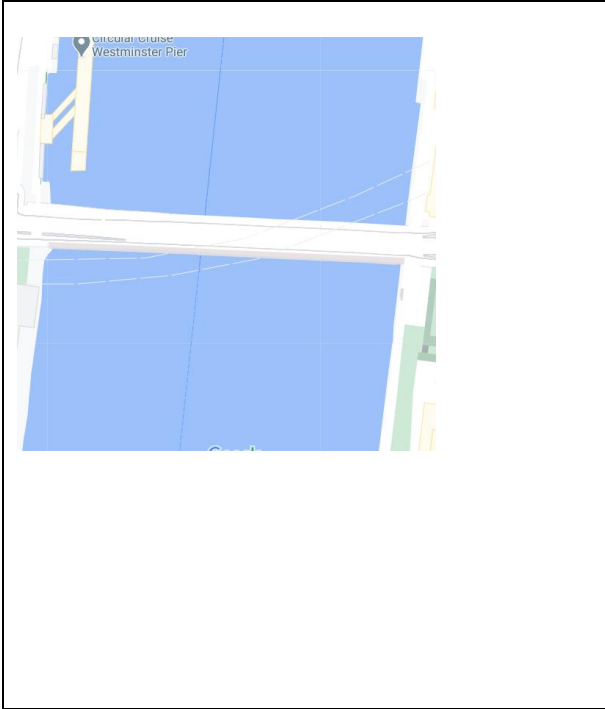


Topic	Recommendation
height	<p>The sites of Gassiot House, Lambeth Wing and A&amp;E along the eastern part of the Hospital campus are suitable for increased height:</p> <ul style="list-style-type: none"> <li>• Block A (site of Gassiot House) – 44 m</li> <li>• Block B (site of Lambeth Wing and A&amp;E) – 44m</li> </ul>
Building Footprint	<ul style="list-style-type: none"> <li>• The footprint of Gassiot House may be extend / cantilever an additional 10m westward so long as it maintains the principal pedestrian route into the hospital within a colonnade or cantilever of generous height.</li> <li>• The footprint of Lambeth Wing and A&amp;E may be extended forward towards Lambeth Palace Road so long as it does not come any closer than 15m to the back edge of pavement.</li> </ul>
Residential Amenity	Development should not unacceptably harm the residential amenity of neighbours at County Hall South Block or Urbanest building.
Built Character	<p>The YRM palette of external materials should be closely matched in order maintain a unified Campus character and to respond positively to the local distinctiveness of this heritage sensitive part of central London.</p> <p>The detailed massing of each block should respond positively to its contact, ensuring parapet heights, form, spaces between buildings, and appearance relate coherently to the character of Lambeth Palace Road and Westminster Bridge Road.</p> <p>All rooftop plant should be effectively screened and not exceed the height of the building envelopes where it would be visible in sensitive views from outside the Campus.</p>
Urban greening	Urban greening / enhancement of should be optimised within the Campus and along its street frontages in particular.
Open space	The amenity value of open spaces within the campus, especially in terms of sunlight, should be maintained

In the VU City model blue buildings are approved but not implemented and yellow buildings are proposed but not approved. Indicative Approach Block A (Gassiot House site) is modelled in green, and Indicative Approach Block B (site Lambeth Wing and A&E) is modelled in pink.

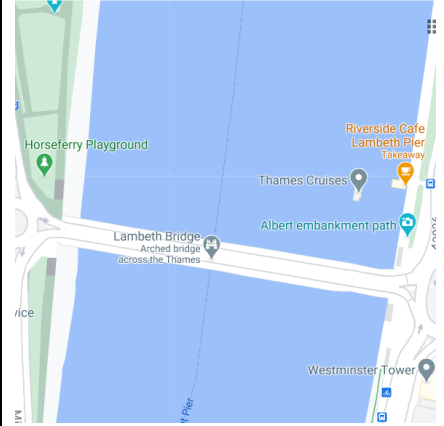


TVIA IMAGE 1 – London Plan View 17A - Hungerford Bridge Upstream

 <p>The map shows the River Thames flowing from the bottom right towards the top left. On the left bank, there is a green area labeled 'Whitehall Gardens Green space with architectural views' and a pink area labeled 'the Royal Horseguards'. Further up the river, there is a yellow area labeled 'RS Hispaniola Modern European - EE'. On the right bank, there is a blue area labeled 'NN Consulting Services' and a pier labeled 'Millbank Pier to Embankment Pier'. The road 'Northumberland Ave' is also visible.</p>	<p>View looks down the River Thames towards the Palace of Westminster. The County Hall's silhouette is clearly visible in much of the view. The North Block of St Thomas' Hospital campus is also clearly discernible in the view opposite the Palace of Westminster. The LVMF guidance states:</p> <p><i>293 The view is characterised by the Palace of Westminster, as the most prominent building, punctuating the skyline and rising above the trees on the Embankment south of Millbank Tower. Development proposed behind the other river frontage buildings must respond to the character and appearance of existing buildings and landscape, and should not encroach on, or form a backdrop to, the Palace of Westminster or Westminster Abbey in this view. New development should not impact adversely on the Outstanding Universal Value of the World Heritage Site.</i></p>
 <p>The photograph shows a view of the River Thames from a boat. On the left bank, there are several buildings, including the North Wing of the Hospital campus. In the background, the County Hall is visible. The water is calm, and there are some boats in the foreground.</p>	 <p>The 3D rendering shows a view of the River Thames with the Indicative approach models (blue and yellow buildings) on the left bank. The roof of County Hall is visible in the foreground, screening the view of the models. The background shows the London skyline, including the Palace of Westminster and the London Eye.</p>
<p>The North Wing of the Hospital campus can be viewed to the left of the image, rising behind County Hall. It's simple mass and recessive materiality are not problematic in the view.</p>	<p>The Indicative approach models are screened by the roof of County Hall. There is no effect on this view.</p>

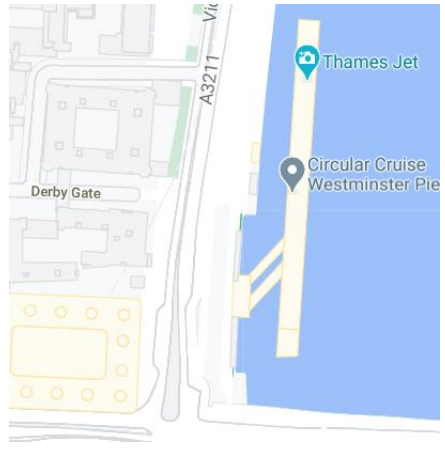


TVIA IMAGE 2 – London Plan View 18.A.3 - Westminster Bridge upstream

	<p>These upstream views, especially 18A.3 provide a very clear appreciation of the St Thomas’ Hospital campus. The North Block is the most dominant form in that composition but its effect is lessened by its calm architecture and pale white finish (mimicking Portland stone). The turrets of the Victorian hospital buildings are also of note. The LVMF states:</p> <p><i>319 The opportunity presented by any new development on the south side of the River in front of Lambeth Bridge to improve the quality of the view would need to be assessed against its impact on Lambeth Palace, the Victorian turrets of St Thomas’s Hospital as well as on the Outstanding Universal Value of the World Heritage Site.</i></p>
	
<p>The Hospital Campus is on the extreme left of the view, on the periphery of the viewer’s field of vision. The Hospital blocks are calm and recessive. The mature trees bring welcome greenery. The Urbanest building (white bands) can be seen as a recessive backdrop building.</p>	<p>The Indicative Approach models sit comfortably within the context – allowing the North Wing of the Hospital to retain its compositional primacy. The silhouette of the historic hospital buildings is unaltered. The general composition of the view is preserved. No harm.</p>

TVIA IMAGE 3 – London Plan View 19.A Lambeth Bridge looking downstream towards the Palace of Westminster

	<p>Here the St Thomas’ Hospital Campus sits directly opposite the world heritage site. The North Block is already a prominent, solid, mass. The LVMF states:</p> <p><i>335 The setting of the Palace of Westminster is largely unaffected by modern development when seen in views from Lambeth Bridge. The qualities of this setting must remain in order that the Outstanding Universal Value of the World Heritage Site, in townscape and visual terms, can be recognised and appreciated by the viewer.</i></p>
	
<p>The character on this site of the River is varied. L- R London Eye, County Hall, North Block, South Block (historic hospital buildings), East Wing (post war block behind historic hospital buildings), Evelina Children’s Hospital; and Lambeth Palace Library. The pale palette of materials to the left of the image reflects the stone character of central London. The red brick hues to the right of the image reflect local character there. The East Block, with its dark glass glazing, draws the eye and distracts from the composition.</p>	<p>The Indicative approach Block A is completely screened by the Hospital campus. Indicative Approach Block B is largely screened by middle ground buildings. The effect on the campus townscape is minor, The effect on the view as a whole is negligible. The WWHS (off camera to the left) remains the dominant form in the composition. No harm.</p>

TVIA IMAGE 4 – London Plan view 20A.1 - River Prospect Victoria Embankment between Waterloo and Westminster Bridge Westminster Pier to County Hall

	<p>View is on Axis with the Grade II* listed County Hall. The St Thomas' Hospital Campus sits just to the right of County Hall. The LVMF states:</p> <p><i>346 It is recognised that new development, including within the Waterloo Opportunity Area, may become visible in the background of this view. Such development may be acceptable if it is sensitively designed and does not dominate the horizontal emphasis of the composition provided by landmark riverside buildings, particularly the former County Hall. New development should contribute to the juxtaposition between the vertical elements around the Shell Centre and the horizontal elements of County Hall.</i></p>
	
<p>County Hall is viewed in silhouette against clear sky. To the left, the Shell Centre tower is visible. To the right Gassiot House is glimpsed and the North Block of the Campus is off camera. The roof ridge of the adjoining Grade II* County Hall is c39m AOD and its chimney tops at c43m AOD.</p>	<p>The indicative approach models are seen off the right of County Hall. They do not disrupt the silhouette of the County Hall. Their sympathetic massing causes no harm to the setting of County Hall. No harm.</p>



TVIA IMAGE 5 – London Plan View 27B - Palace of Westminster from north side of Parliament Square.

	<p>The LVMF advises:</p> <p><i>457 New development glimpsed in the background of views from this part of Parliament Square should be of appropriate height, scale, massing and materials to allow full appreciation of the buildings forming the World Heritage Site...</i></p> <p><i>...Development should not detract from the clear separation between the major groups of buildings nor compromise the strong vertical emphases of the towers defining the extremities of the Palace of Westminster nor detract from the appreciation of Westminster Abbey and St Margaret’s Church.</i></p>
	
<p>The view is of the whole Palace of Westminster and Westminster Abbey. The Elizabeth Tower is in the extreme left of this composition and to its left, along Westminster Bridge, development in Lambeth is visible – Park Plaza Hotel (dark glass), Urbanest building (horizontal stripes) and Gassiot House can be glimpsed.</p>	<p>Only Indicative Approach Block A is visible in this view. It is lower than the existing backdrop building in the view (Urbanest) which sets the datum for development here. and its effect on the townscape backdrop will be negligible. The composition of the view is maintained, the primacy of the Elizabeth Tower is respected, the setting of the Palace of Westminster is preserved; and the OUV of the WWHS is sustained. No harm.</p>

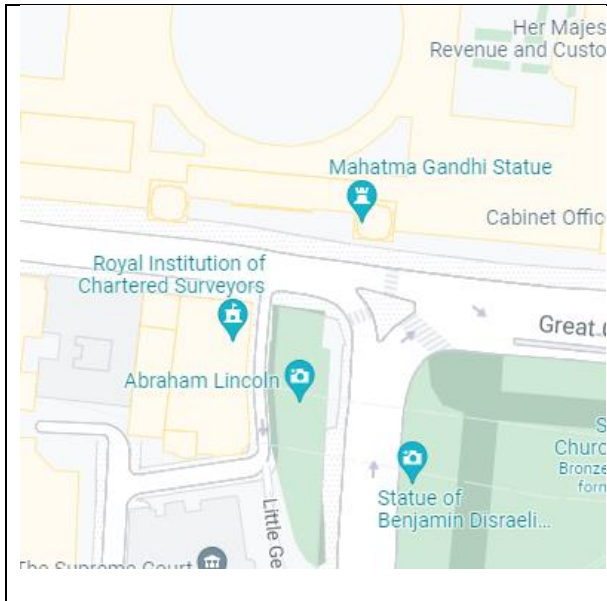
TVIA IMAGE 6 Westminster Bridge (western end near Boudica statue) looking east

	<p>This view location is on the western side of Westminster Bridge, within Westminster's Palace of Westminster and Parliament Square Conservation Area.</p>
	
<p>County Hall on left is grade II* listed. It, and Westminster Bridge itself is in the Southbank CA. The Hospital campus on the right is within the Albert Embankment CA. Beyond centre, Park Plaza Hotel (dark glass), Urban Next (horizontal bands) and Beckett House (brown stone) are not in conservation areas.</p>	<p>Annex 10 of the Lambeth Local Plan identifies Beckett House as a location appropriate for a tall building and identifies a general height which would be comparable with the Urban Nest building to its left. Indicative Approach Block A stands in front of these buildings and appears lower. The massing of both Blocks is comfortable in this townscape context.</p>

TVIA IMAGE 7 - Westminster Bridge – south pavement opposite the Southbank Lion

	<p>This view location is within the South Bank Conservation Area outside the Grade II * listed County Hall. The viewer is looking into the St Thomas Hospital Campus which is in the Albert Embankment CA.</p>
	
<p>Grade II* County Hall on left. Beyond is the locally listed County Hall South Wing. Grade II* Southbank Lion just off camera to left. Everything to left is Southbank CA. Everything to right is Albert Embankment CA. Ahead the Park Plaza Hotel (dark glass) and Urban Nest building (white bands) are not in a CA. Laure trees on the Hospital Campus add greenery.</p>	<p>The increase in height created by Block A creates a built form which positive presents an elevation to Westminster Bridge Road (something the current Gassiot House lacks). Assuming that the new campus buildings follow the pale palette of the existing post-war Campus buildings the general effect will be positive – bringing a uniform of height and colour to the Hospital campus frontage.</p>

TVIA IMAGE 8 - Great George St at junction with Little George Street



The view location is in Westminster. The Whitehall Conservation Area is on the left and the Palace of Westminster and Parliament Square Conservation Area is on the right. Ahead, in Lambeth, the Urbanest building is not in a conservation area.



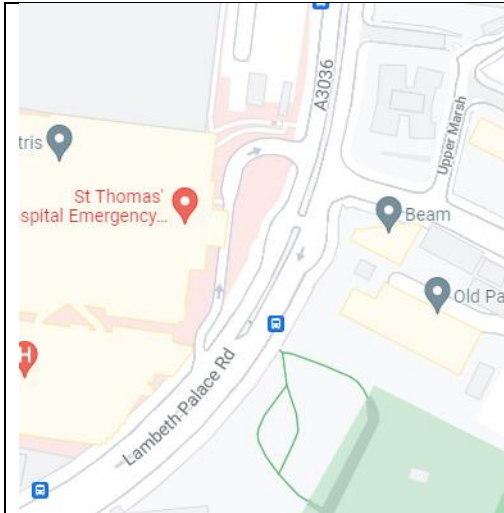
The viewer is looking towards Elizabeth Tower which can be appreciated clearly; it is a landmark. Terminating the view, across Westminster Bridge, is the Urbanest building and in its foreground is the low form of Gassiot House. Both buildings have a calm and recessive palette which allows the Elizabeth Tower and foreground buildings to have primacy.



The Indicative approach Block A rises higher than the Urbanest building which sets the height datum for background development in this view. The townscape effect is positive, the setting of Elizabeth Tower is preserved. The OUV of the WWHS is sustained. No harm.



TVIA IMAGE 9 – Archbishops Park

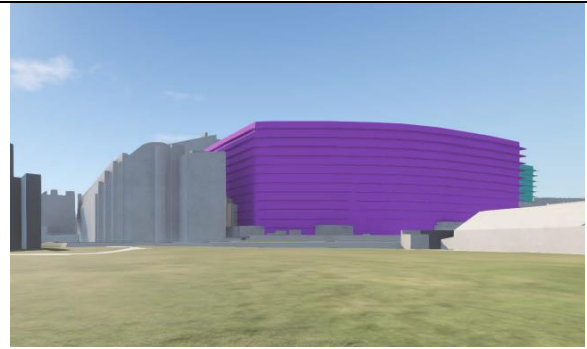


This view location is within the Lambeth Palace Conservation Area. The viewer is looking towards the Albert Embankment Conservation Area.



This winter view has bare trees which allows the viewer to see the Campus buildings. The Evelina Hospital (terracotta) is nearest and most prominent. To its left consent has been granted for the Evelina Hospital extension and left again (off camera) is the recently completed Lambeth Palace Library. To the right of the Evelina Hospital are the existing buildings on the St Thomas' Campus that form the site of the Indicative approach.

It should be noted that when the trees are in leaf they screen these buildings from view. Archbishop's Park is a non-designated heritage asset.






The trees have been removed in the model for clarity.

The grey building on the extreme left of the view is Lambeth Palace Library. The Evelina Hospital extension approval is not modelled but would occupy the left side of the view. The Indicative approach Block B is visible to the right of the Evelina Hospital. It is of comparable height to the Evelina Hospital and brings a greater sense of enclosure to Lambeth Palace Road.

It should be remembered that the model mass is only indicative for testing purposes and does not represent a building; in this regard the perceived long façade should be ignored as, in reality, one, two or perhaps three individual buildings may occupy this plot.

The effect on the setting of the Lambeth Palace Conservation Area and the setting of Archbishop's Park is negligible.

TVIA IMAGE 10 – Serpentine Bridge

	<p>This is London Plan View 23A and looks eastwards across the Serpentine lake towards the Palace of Westminster.</p>
	
<p>The character of the view is that its highly influenced by the presence of the water and the perimeter greenery of Hyde Park. The towers of the Westminster World Heritage Site can be seen terminating the vista.</p>	<p>Indicative Approach models are not visible. No effect.</p>