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# 1. ASSESSMENT

## 1.1 INTRODUCTION

- 1.1.1 This report was prepared by Pringle Richards Sharratt Architects for the London Borough of Lambeth (LBL) Capital Programmes Team with substantial support from the Brockwell Park Community Partners or (BPCP).
- 1.1.2 The design team was appointed following a selection process conducted in late 2019 by the LBL.

The team consists of:

- Pringle Richards Sharratt Architects as Specialist Conservation Architects
- GuM Studios as Exhibition Designers & Interpretation Lead
- Dominic Cole as Landscape Architects
- Cogent as Heritage Consultant
- Ecology Land Management as Specialist Ecological Consultant
- Community First Partnership or (CFP) as Activity Planners
- MTW Consulting Limited as Business Planners
- Rodrigues Associates as Structural Engineers
- SVM Consulting as Services Engineers
- Huntley Cartwright as Cost Consultants

- 1.1.3 Lambeth Council were successful in a Round 1 Bid to receive Development Funding from the Heritage Fund (NLHF) to potentially secure a further £3.3 Million Grant to restore Brockwell Hall. This funding ultimately relies on a successful Second Round application to the NLHF that the team have been working on ready to submit to the NLHF in November 2020.

- 1.1.4 The securing of Planning and Listed Building Consent would greatly assist in this application being considered to have the broad support of the Key Stakeholders and the local community as a whole. If successful, the restoration work will begin early in 2022 with completion possibly during 2023.



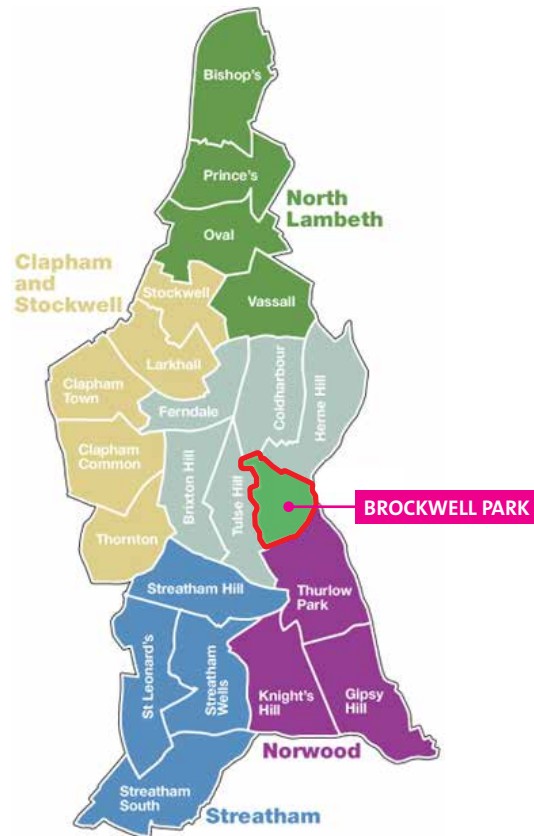
View north east from the first floor of the Main House.



# 1. ASSESSMENT

## 1.1 INTRODUCTION

- 1.1.3.3 Brockwell Park is located on the eastern border separating London Borough of Lambeth and London Borough of Southwark. Brockwell Hall is located at the centre of the park, which falls within the ward of Herne Hill.
- 1.1.3.4 The Hall itself sits at the end of a ridge that affords panoramic views to the north over central London and the nearby Herne Hill railway station, which is just beyond the park gates.



Brockwell Park within the London Borough of Lambeth ward of Herne Hill.



Brockwell Hall (1) and Norwood Lodge (2) in the context of Brockwell Park.



# 1. ASSESSMENT

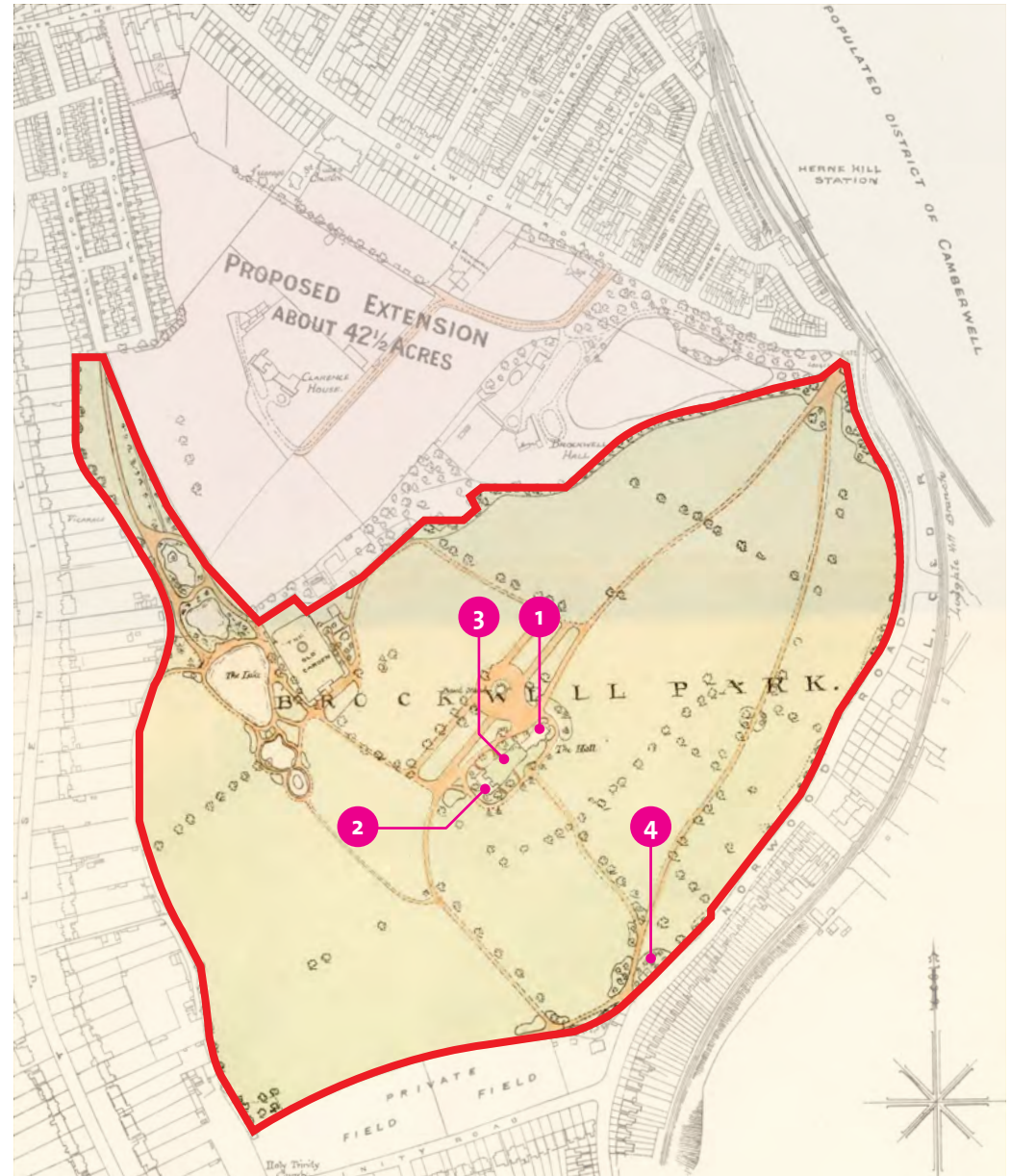
## 1.2 PHYSICAL: GENERAL

### 1.2.1 Overview

- 1.2.1.1 Brockwell Hall is a Grade II\* Listed collection of buildings built in c.1811-18 for John Blades (1751-1829) Sheriff of London and Middlesex (1812-18).
- 1.2.1.2 The Hall became accessible to the public as a café after the London County Council (LCC) purchased the Hall and its surrounding land in 1891 and converted it into a public park that opened in June 1892.
- 1.2.1.3 The Hall is a visible landmark in the centre of the park slightly to the south, sited on raised ground. The park itself is surrounded by relatively dense residential development with Brixton and Herne Hill to the north, Streatham Hill to the west, Dulwich to the east and Tulse Hill to the south.

### 1.2.2 Curtilage

- 1.2.2.1 For the purposes of this application the adjacent map illustrates, by outlined in red, what is considered to be the curtilage of the original Blades Estate sold to LCC in 1891 which includes the following existing buildings and landscape features:
  - 1 The Hall
  - 2 Stables
  - 3 Stables Yard
  - 4 The Maintenance Area



# 1. ASSESSMENT

## 1.2 PHYSICAL: GENERAL

- 1.2.2.2 This application will focus on the physical works to be undertaken to the above-mentioned buildings and spaces.
- 1.2.2.2 The existing Stables Yard is currently inaccessible to the public as it is used by LBL Parks. It contains a number of single storey unsightly sheds and sea containers and is mostly filled with maintenance vehicles every evening and locked.
- 1.2.2.3 The Hall still contains a public café but unfortunately the original North facing conservatory has been removed and the kitchen with its unsightly extract fans, servery, and services has been installed within the most significant rooms of the ground floor. The majority of the rest of the Hall is inaccessible to the public as it is occupied by LBL Parks offices. The Picture Room and 1st Floor Bristowe room can be occasionally used by the community through arrangement with LBL Parks.
- 1.2.2.4 The Stable Block is currently used by LBL Parks Ground Persons & Maintenance Staff although the majority is unheated and in poor condition. Male and Female Public WCs are also accommodated within the stables building although again these have had very little works carried out to them since the park opened and various parts are actually open to the sky.
- 1.2.2.5 The current maintenance area is adjacent to the southern entrance and existing Norwood Lodge. It is used by LBL Parks as a fenced off storage facility but is underutilised and in need of work.

- 1.2.2.6 The application refers to works to all of the above areas that have been developed following extensive consultation to secure a long-term sustainable future for the Hall and park as a whole. This has all been tested with the CFP Activity Plan and MTW Business Plan.



Aerial image highlighting the buildings of Brockwell Hall.  
A: Main House  
B: Stable Yard  
C: Stable Block



Aerial image highlighting Norwood Lodge and its surrounds at the south end of Brockwell Park.  
D: Norwood Lodge and surrounds



# 1. ASSESSMENT

## 1.3 PHYSICAL: EXISTING BUILDINGS

### 1.3.1 Brockwell Hall

- 1.3.1.1 Brockwell Hall is a Grade II\* Listed, two storey villa with a basement. The house is constructed using traditional materials, with a timber roof and floor structure and load bearing brickwork walls.
- 1.3.1.2 The external wall finish is mostly a unique light buff coloured brick that gives the Hall its special, almost stone appearance
- 1.3.1.3 The roof has recently been refurbished and is clad with slate tiles. Most of the doors and windows are original timber framed.
- 1.3.1.4 The official Building Listing description for Brockwell Hall and more detailed information can be found in the Heritage Statement and Conservation Plan which accompanies this document.
- 1.3.1.5 *North West Façade*
  - a. This side forms the main arrival elevation whereby the Main Hall is more substantial than its adjacent Servants Wing. The predominant material is a light buff brick that give the house its unique appearance as if it were built from a light stone. The main entrance portico and indeed various other features to windows and cornice line are formed using a light Portland Stone. The large window to the right of the entrance is actually a false window using black glass as behind this is the main cantilevered stone staircase and on the left the shutters are fixed shut to obscure the kitchen equipment.



1939 view of Brockwell Hall from the north, with the glass conservatory on the north-eastern elevation.



Brockwell Hall north-western elevation in 2020.

# 1. ASSESSMENT

## 1.3 PHYSICAL: EXISTING BUILDINGS

### 1.3.1.6 *South East Façade*

- a. This side is possibly the most open as it sits at the brow of falling land towards Herne Hill, Dulwich and Tulse Hill. Again, the Main House is the predominant form with its central bay and flight of stairs leading down to the park. This elevation however also contains the picturesque Victorian ornate metal balcony that straddles the junction between the Main House and the Servants Wing.

### 1.3.1.7 *North East Façade*

- a. This important elevation with its expansive views towards central London originally contained the lovely Victorian Conservatory which has long gone. Now unfortunately this elevation is dominated by security grills, plywood boarding over windows and the kitchen extract fan on the ground floor. The low-level walls are all the remains of the conservatory but all connections with the internal arrangement due to the café servery and kitchen have been lost.

### 1.3.1.8 *South West Façade*

- a. This is very plain and may have had windows or openings removed as it is mostly now rendered.
- b. Refer to the diagram on the following page that illustrates the existing uses of the Hall, Yard, and Stables.



South eastern elevation, Servants Wing.



South eastern elevation, Main House.



South-western elevation behind the paraphernalia of the Stables Yard.



North-eastern façade running perpendicular to the main entrance elevation.



1. ASSESSMENT  
1.3 PHYSICAL: EXISTING BUILDINGS



# 1. ASSESSMENT

## 1.3 PHYSICAL: EXISTING BUILDINGS

### 1.3.1.9 *Ground Floor*

- a. The ground floor of the Main House contains the café including its servery and kitchen. The large Picture Room can be accessed through prior arrangement with LBL Parks. The rest of the house is occupied by LBL Parks reception, storage toilets and meeting room

### 1.3.1.10 *First Floor*

- a. Mostly LBL Parks offices although the large North Eastern Bristowe Room can be accessed through prior arrangement with LBL Parks.



The Picture Room on the ground floor being used as a community meeting area.



Kitchen of the current café on the ground floor.



The Bristowe Room on the first floor being used as a community meeting area.



# 1. ASSESSMENT

## 1.3 PHYSICAL: EXISTING BUILDINGS

### 1.3.11 *Lower Ground or Basement*

1.3.11.1 The area under the Main House is used mostly by the Café as storage and staff rest and changing areas however it is in a bad state of disrepair and damp. Below the Servants Wing it is only accessible through arrangement with LBL Parks but is mostly in reasonable condition and empty.

1.3.12 The official Building Listing description for Brockwell Hall and more detailed information can be found in the Heritage Statement and Conservation Plan which accompanies this document.



Images of the existing condition of the basement level of Brockwell Hall.

# 1. ASSESSMENT

## 1.3 PHYSICAL: EXISTING BUILDINGS

### 1.3.2 Stables Block and Yard

- 1.3.2.1 This is a mostly single storey with a central raised second storey in the central bay. It was originally built to service Brockwell Hall. It is of a traditional construction with London stock brick walls. The slate roof has recently been refurbished.
- 1.3.2.2 All doors and windows are original timber framed.
- 1.3.2.3 The stable block is currently occupied by LBL Parks Maintenance Team, who use the ground floor mostly for the storage of materials although there are also staff lockers, kitchen and a small office. The small first floor area has more storage and a further office space.
- 1.3.2.4 *Structure*
- The internal structure is in reasonable condition. However, the finishes are in various areas deteriorated as a result of water ingress prior to the roof refurbishment work.
- 1.3.2.5 *Services*
- The existing services are of low quality, and although still operative, are in need of replacement. There are no boilers and heating is solely through a few electric radiators.



Left: ad hoc additions and area used as storage outside of the Stable Block

Below left: ad hoc additions of the Stable Block interior

Below right: existing kitchen with burglar bars on window





# 1. ASSESSMENT

## 1.3 PHYSICAL: EXISTING BUILDINGS

### 1.3.2.6 *South west façade*

- a. This short elevation is possibly in the best condition compared to all other elevations of the stables. With its London Stock brickwork forming bold buttresses and large arched windows it has a unique presence that is helped by its own gated garden flanked by high vegetation on either side.

### 1.3.2.7 *North east façade*

- a. This elevation compared to the South East has however suffered possibly the most. Through the insertion of the public toilets at each flank end. The lovely loggias have been partly infilled and it has lost its symmetry. Facing onto the main maintenance yard it is now also covered with various services appliances as well as electrical points etc.



Top: south-western elevation of the Stables Block

Bottom: north-eastern elevation of the Stables Block

# 1. ASSESSMENT

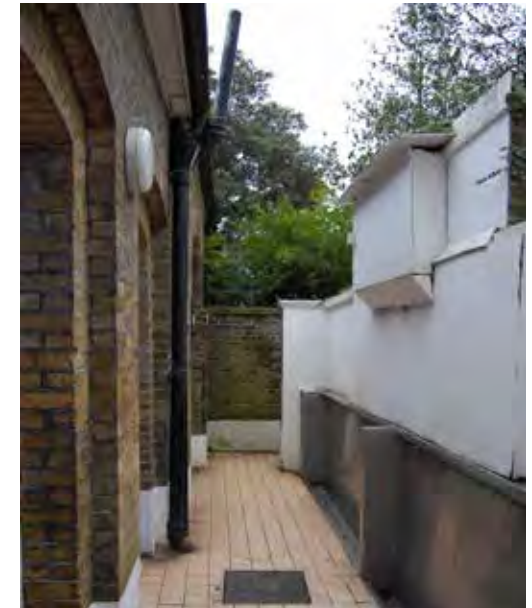
## 1.3 PHYSICAL: EXISTING BUILDINGS

### 1.3.2.8 *South East Façade*

- a. This elevation of the stables contains the female public toilets but also runs into the long and wonderful swooping curved wall of the stables yard itself. It is mostly concealed by substantial trees and vegetation.

### 1.3.2.9 *North West Façade*

- a. As with the South Eastern elevation this side of the stables has been converted into male public toilets although a large brick screen wall containing an open-air urinal covers a lot of the elevation. Again, the elevation is dominated by the sweeping wall of the stables although on this side there is also the opening to the yard itself with its large plain metal gates. As with the rest of the stables the façade is mostly concealed by large trees and vegetation.



Top: south-eastern façade of the Stable Block showing female bathroom entrance behind vegetation

Bottom left: north-western façade of the Stables Block showing male bathroom

Bottom right: male urinal outside of Stable Block façade (seen to left of image)

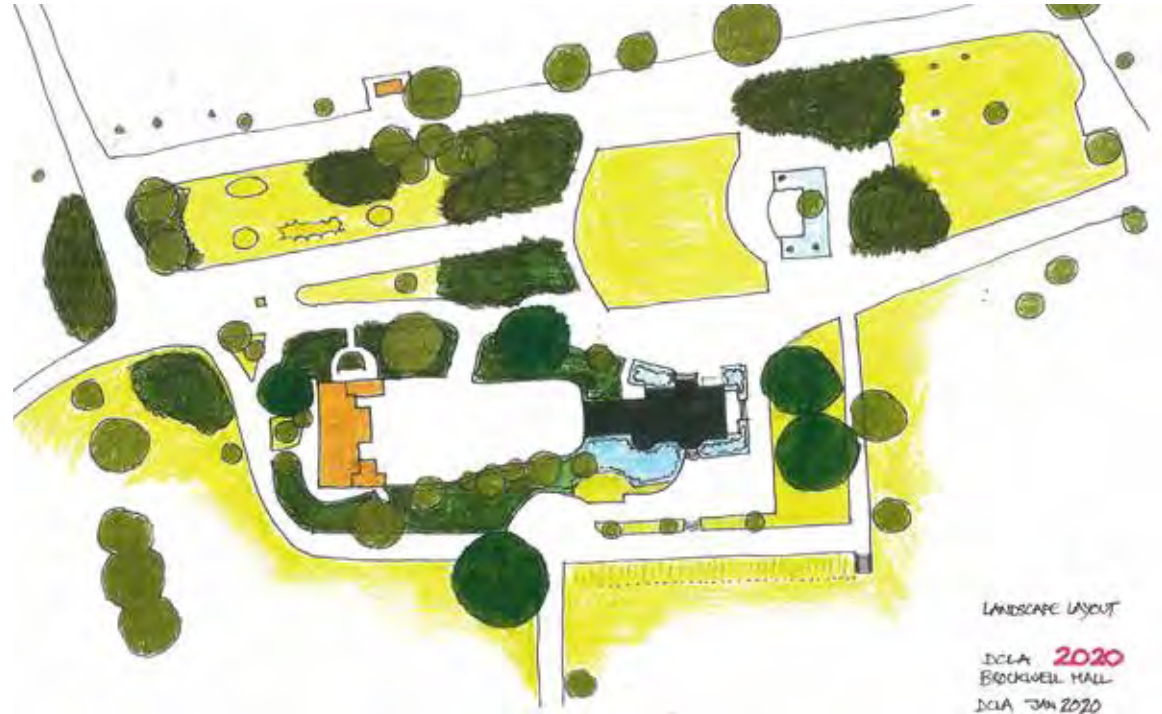


# 1. ASSESSMENT

## 1.3 PHYSICAL: LANDSCAPE

### 1.3.3 Brockwell Park

- 1.3.3.1 While comprising mostly of lawn areas set to meadow, Brockwell Park, with its 19th-century layout, is a generous public offering. It is home to ornamental ponds, formal flower beds, a walled 'Old English' herbaceous flower garden and a 19th century clock tower. The entirety of the park is a Site of Importance for Nature Conservation (SINC) of Borough Importance (Grade I) and is listed on the National Heritage List for England, Parks and Gardens, Grade II.
- 1.3.3.2 The park's hedge lines and mature trees are indicative of its agricultural past. This recording of the park as part of a rural setting is made in the 1889 illustration alongside, which shows the park as a wilder landscape in front of a distant view of St. Paul's Cathedral. Murals inside the Hall's Picture Room further illustrate the "wildness" and elements of "nature unadorned" (Sexby, 1891) of the park.
- 1.3.3.3 However, with the conversion of the original walled kitchen garden into a flower garden and community greenhouses, and the addition of new amenities (including facilities for various sports, a miniature railway, and the Grade II\*-listed Brockwell Lido), the rural atmosphere of the park has been lost, particularly around the Hall.



Analysis of the landscape in 2020 by landscape architect, Dominic Cole.



1889 graphic looking towards Brockwell Hall with St Paul's Cathedral in the background.



Strachey murals in the Hall showing the park's agricultural past.



1. ASSESSMENT  
1.3 PHYSICAL: LANDSCAPE



1820 engraving showing the more pastoral setting of the Hall and Stables. There also appears to be a small opening on the south-western facade of the Servants Wing, which has since been removed.

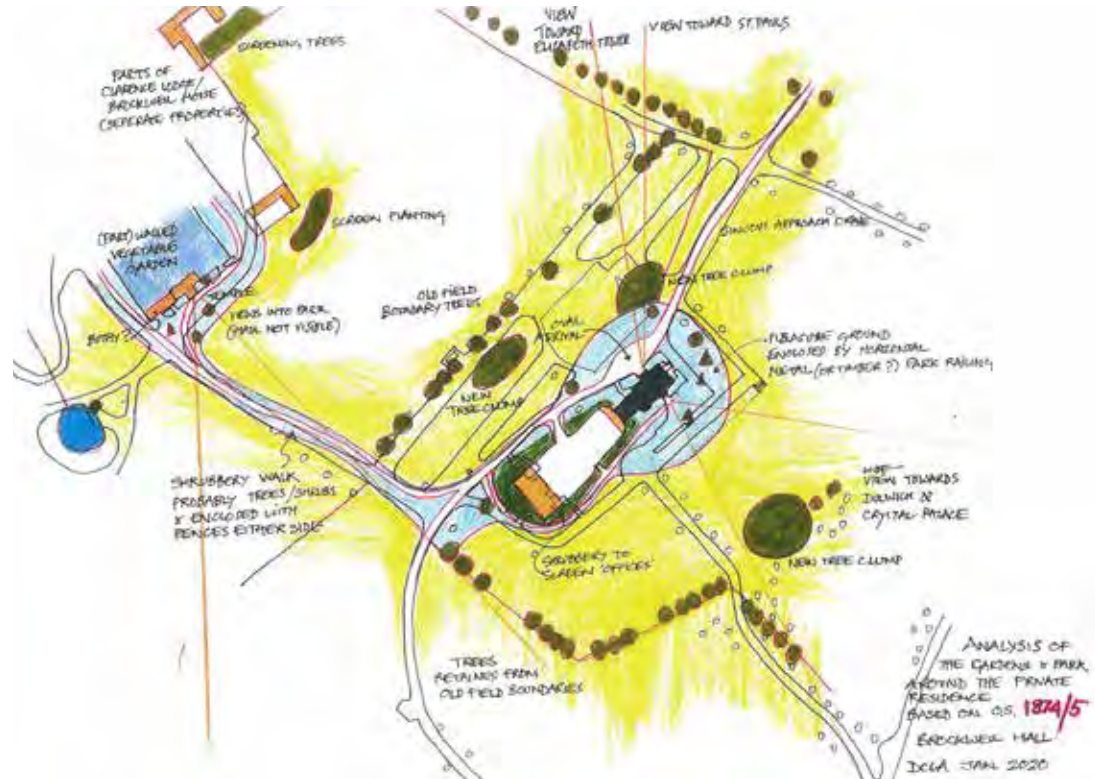


# 1. ASSESSMENT

## 1.3 PHYSICAL: LANDSCAPE

### 1.3.4 Landscaping around the Hall and Stables

- 1.3.4.1 Comparing the existing landscaping condition and layout to that of the 1870s, as the adjacent drawing illustrates, shows that a more curvilinear design approach was taken in the original layout around the Hall.
- 1.3.4.2 While shrubbery has always existed to screen off the buildings adjacent to the Hall, alterations to the layout have brought about more rectilinear areas of hardstanding (tarmac) right up to the building and reduced its natural setting.



Analytical comparison of landscape in 1874/75 to 2020.



View of the heavily-vegetated Servants Wing from the east.



1910 view of the more wooded landscaping before the tennis courts.



# 1. ASSESSMENT

## 1.3 PHYSICAL: LANDSCAPE



2020 aerial photograph of Brockwell Hall in its immediate context.

# 1. ASSESSMENT

## 1.3 PHYSICAL: LANDSCAPE

### 1.3.4.3 *Tarmac*

- a. Although the park is a majority-pedestrian environment, most of the immediate context of the buildings is seemingly more car-ready, providing for vehicular movement of cars up to and around the Hall and Stables with extensive tarmac.
- b. The outdoor seating for the café is a substantial expanse of black tarmac with more rectilinear areas that dominate the immediate landscape around the house.

### 1.3.4.4 *Lawn*

- a. Beyond the tarmac lies the lawned areas of the park, with their more curvilinear layout that emphasise the meandering quality of the landscape.
- b. The lawns play host to various public events and gatherings like music festivals and fairs, which bring vibrant public activity to the park.

### 1.3.4.5 *Shrubbery and planted beds*

- a. Planted beds alongside the Hall, Stables and Yard are home to mature introduced shrubs and trees. While not extensively maintained, the function these planted areas serve is to conceal the Hall's auxiliary buildings to give it prominence.

### 1.3.4.6 *Mature trees*

- a. The park is home to many mature trees, and the areas surrounding the buildings, right up to those designated by the planter beds, are no exception.

- b. Two large cedar trees are prominent on the north-eastern elevation, although the smaller one has suffered damage through the loss of a significant limb.
- c. Other trees surrounding the building include large Holm Oaks, a Horse Chestnut and a common Lime, among others. The Arboricultural Survey in Appendix G gives a detailed picture of what trees exist in the immediate context of the Hall and Stables.



Parking at the front of the Hall.



Rectilinear tarmac layout divides the park from the Hall.



19th-century clock tower within a large area of tarmac.



# 1. ASSESSMENT

## 1.3 PHYSICAL: LANDSCAPE

### 1.3.5 Landscaping in the Norwood Lodge area

- 1.3.5.1 The landscape in the areas surrounding Norwood Lodge is mostly comprised of scrub, which is typically a mix of unmaintained vegetation and hardstanding and is here exacerbated by the presence of plant refuse dumped in the current depot area.
- 1.3.5.2 The site is bordered by dense shrubs and mature trees which help to conceal the area from passersby in the park and on the adjacent sidewalk and road.
- 1.3.5.3 The site is enclosed by a fence and two gates that allow vehicular thoroughfare across the depot area.
- 1.3.5.4 Some ornamental planting exists in front of the Norwood Lodge building.



Looking south toward Norwood Lodge over hardstanding and scrub.



Depot area is mostly scrub bordered by mature vegetation.

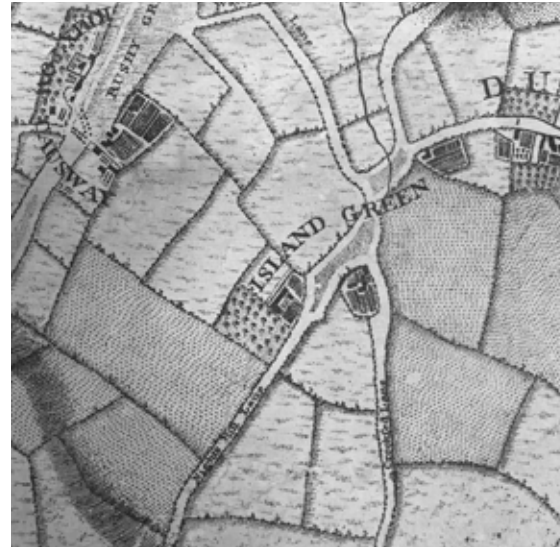


Aerial image of Norwood Lodge and depot area shows storage of plant refuse within site bordered by mature trees.

# 1. ASSESSMENT

## 1.5 HERITAGE

- 1.5.1 This report should be read in conjunction with the accompanying Conservation Plan Version 5, dated July 2020, produced by Ignus Froneman of Cogent to support this application. (Appendix E)
- 1.5.2 As part of this Planning and Listed Building Consent application a detailed Heritage Statement has also been produced to both inform the design through the production of a clear set of Heritage Significance Drawings that were developed following on from various public consultations, meetings held with Historic England on the 13th February, 28th May, 3rd August 2020 as well as during various meetings and discussions with Nicole Xuereb the local LBL Conservation Officer.



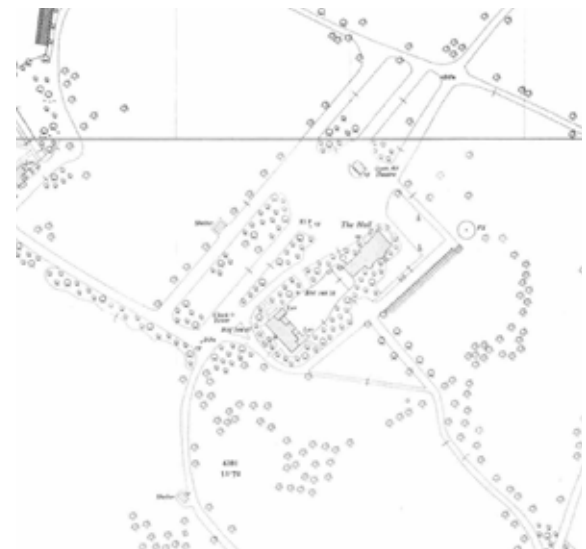
Extract of Rocque's 1741-5 map.



Extract of the 1874/75 Ordnance Survey (OS) map.



Extract of the 1896 OS map.



Extract of the 1950 OS map.



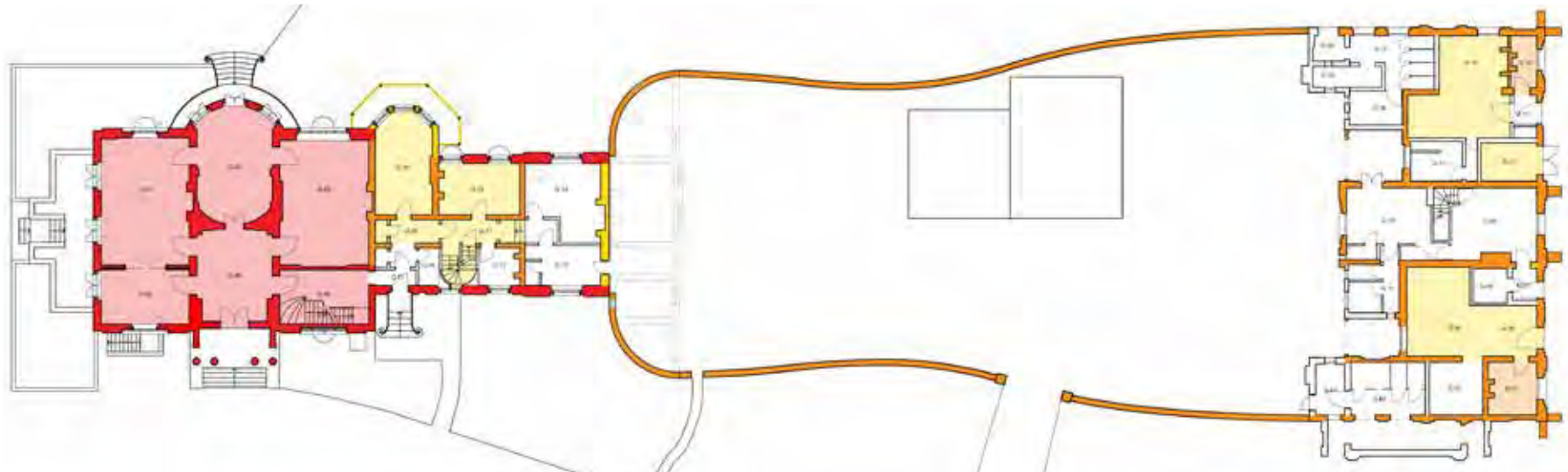
# 1. ASSESSMENT

## 1.5 HERITAGE

- 1.5.3 Claire Brady of Historic England stated in a letter dated 19 August 2020 that 'Historic England is pleased to see that much of our advice has been taken on board' and are generally supportive of these proposals. Refer to the Heritage Statement (Appendix H) for further detail regarding these discussions.
- 1.5.4 The Heritage Statement includes colour-coded floor plans and elevations of the Hall and Stables, highlighting the relevant levels of significance in line with international or ICOMOS methodology.
- 1.5.5 Within the Heritage Statement is a detailed assessment that seeks to justify and propose mitigation for any impact these proposals may have to the Heritage Asset.

**Heritage Significance Key**

- Very high significance
- High significance
- Moderate significance



Ground floor Heritage Significance plan.

# 1. ASSESSMENT

## 1.6 SOCIAL

### 1.6.1 Overview

- 1.6.1.1 The Brockwell Hall project aims to address significant issues, supported by the Heritage Fund, around health, education and employment. New initiatives endeavour to promote the Park as a place to get fit, to gain skills, to learn and to relax and have fun, in order to combat the many issues faced by local residents. Through addressing these issues, the Park seeks to impact directly on people's life chances and reinforce their sense of belonging.

### 1.6.2 Contribution to the wider community

#### 1.6.2.1 Training and learning

- a. Training of staff (including mentoring, working with volunteers, and disability awareness training) as well as apprenticeships are offered as part of the Activity Plan, which sees the long-term contribution and engagement of the project with the community.

#### 1.6.2.2 Volunteer participation

- a. The project sees volunteering as a way to boost community engagement and ownership of the building.
- b. Proposed volunteering roles are:
  - Meet and greet volunteers
  - Tour and lecture leaders
  - Access and mobility volunteers
  - Activities ambassadors
  - Research and archive volunteers
  - Conservation Cleaning Volunteers
  - Photography Volunteers

- Marketing, communication and social media volunteers
- Gardening and Landscaping Volunteers





# 1. ASSESSMENT

## 1.6 SOCIAL

### 1.6.2.3 *Events and activities*

- a. Proposed events and activities will see the engagement of the wider community and other audiences with the development, helping the project to becoming a positive touchstone in the area. Per audience, activities outlined are:

- Wider Community  
Experiencing the restoration, local heroes project, celebration launch event and a regular programme of events (recreating the country show, the Brockwell Trail, bandstand Sunday, walks and tours, speakers corner events, Sunday morning arts, craft hour, mother and baby and reduce/reuse/recycle events
- Young people (11-19)  
Hoardings project, annual youth project linking to Mighty Hoopla event, open MIC/ poetry slam/ speakers corner events, SLYT and Youth Panel
- Older people  
Buddy walks and access days, exercise and well-being sessions, reminiscence sessions, lecture series, concerts and theatre
- BAME  
Community events fund, Well World Choir, Windrush day, interpretation projects
- Disabled Users  
Buddy walks and access days, Into Sport classes, art for well-being sessions, volunteering projects and placements

- Creative Communities  
Support existing community events, establish an arts and crafts fair as well as art classes, workshops and opportunities to exhibit.

### 1.6.3 **Project-funded posts**

#### 1.6.3.1 The project aims to provide 5 project-funded posts:

- Project Manager – 2 years 0.6 FTE from April 2021
- Senior Project Manager – 2 years 0.6 FTE from April 2021
- Venue Manager – 0.6 FTE 3 years from October 2022,
- Activity co-ordinator – 0.75 FTE 3 years from January 2023
- Volunteer co-ordinator – 0.4 FTE 3 years from January 2023

# 1. ASSESSMENT

## 1.6 SOCIAL

### 1.6.4 Interpretation

1.6.4.1 An important element of the Interpretation Plan is to create a space for temporary exhibitions which change frequently and reflect the full range of activities taking place within the Hall, park and wider community. An example of some exhibitions that might take place include:

- 'Local Heroes' project showcasing the stories and photographs of local people submitted for initiative to name the first-floor rooms of the Hall
- Art produced by the Hall's Art for Well-being class coordinated by Morley College Community Learning
- Historical research by the Friends of Brockwell Park or U3A History Group
- Growing and drying project with Learning Unlimited and the Community Greenhouses
- Brixton BMX Club covering the history of BMX and their club, an introduction to racing, photographs from recent events, equipment to handle and profiles of their award-winning Club Patrons
- Max A Rush, Landscape Photographer including photographs of Brockwell Park and scheduled 'meet the artist' sessions.



Brixton BMX Club.



# 1. ASSESSMENT

## 1.7 ECONOMIC

### 1.7.1 **Contribution to local economy**

1.7.1.1 Following previous investment, it is clear that the last Heritage Funded work carried out to Brockwell Park as a whole, although major improvements have occurred, has not generated enough income to restore this Grade II\* listed asset at its heart. The current complex of buildings needs urgent care. Furthermore, consultation has made it abundantly clear that the public desire more access to this very special asset however in the current economic climate there is insufficient funds to carry any of this work out or to sustain such a venture without further external funding.

1.7.2 This project will achieve the following:

- Restore the Hall, Stables, and immediate landscape
- Create a sustainable self-funded complex of facilities for the future
- Generate enough annual income to support the points above

1.7.3 An extensive feasibility study into viable commercial options for the park was completed by MTW Leisure and Regeneration Consultants and following extensive consultation has been developed into a Business Plan.

1.7.4 This was informed by client driven insistence that it is vital that the project and its activities offer residents genuine pathways to skill-acquisition and employment.

1.7.5 The Business Plan has identified a demand for wedding ceremonies, wedding receptions and dinners, private functions, smaller conferences, corporate team building and away days as well as community and educational use to help sustain and maintain the Hall.

# 1. ASSESSMENT

## 1.8 POLICY

1.8.1 The following points are an audit of various national, regional and locally published policy, which are considered to apply to this development.

### 1.8.2 **National Planning Policy Framework (NPPF)**

1.8.2.1 The over-arching message of the NPPF is to achieve a sustainable development that includes economic, social and environmental roles.

1.8.2.2 Paragraph 8 of the Framework advises that achieving sustainable development means that the planning system has three overarching objectives, which are interdependent and need to be pursued in mutually supportive ways (so that opportunities can be taken to secure net gains across each of the different objectives). These are: economic; social, and; environmental as set out below:

- a. *an economic objective – to help build a strong, responsive and competitive economy, by ensuring that sufficient land of the right types is available in the right places and at the right time to support growth, innovation and improved productivity; and by identifying and coordinating the provision of infrastructure;*
- b. *a social objective – to support strong, vibrant and healthy communities, by ensuring that a sufficient number and range of homes can be provided to meet the needs of present and future generations; and by fostering a well-designed and safe built environment, with accessible services and open spaces that reflect current and future needs and support communities' health, social and cultural well-being; and*

c. *an environmental objective – to contribute to protecting and enhancing our natural, built and historic environment; including making effective use of land, helping to improve biodiversity, using natural resources prudently, minimising waste and pollution, and mitigating and adapting to climate change, including moving to a low carbon economy.*

1.8. Paragraph 11 of the NPPF indicates that there should be a presumption in favour of sustainable development. It provides that development proposals which accord with the development plan should be approved without delay.

*"Our historic environment - buildings, landscapes, towns and villages – can better be cherished if their spirit of place thrives, rather than withers."* – Ministerial Statement

### 1.8.3 **Relevant Chapters**

1.8.3.1 The following chapters are also applicable to the scheme:

- Chapter 8 – Promoting Healthy and Safe Communities
- Chapter 9 – Promoting Sustainable Transport
- Chapter 12 – Achieving Well Designed Places
- Chapter 13 – Protecting Green Belt Land
- Chapter 14 – Meeting the CHallenge of Climate Change, Flooding and Coastal Change
- Chapter 15 – Conserving and Enhancing the Natural Environment
- Chapter 16 – Conserving and Enhancing the Historic Environment



### National Planning Policy Framework

February 2019  
Ministry of Housing, Communities and Local Government



# 1. ASSESSMENT

## 1.8 POLICY

### 1.8.4 The London Plan

#### 1.8.4.1 Policy 2.18

Green Infrastructure: the multi-functional network of green and open spaces

#### 1.8.4.2 Policy 3.1

Ensuring Equal Life Chances for All

#### 1.8.4.3 Policy 4.6

Support for Enhancement of Arts, Culture, Sports and Entertainment

#### 1.8.4.4 Policy 7.17

*Metropolitan Open Land*

### 1.8.5 Lambeth Local Policy

1.8.5.1 Policy that may be affected by this application as discussed with LBL Officers and referred to in the Lambeth Local Plan adopted Sept. 2015

#### 1.8.5.2 Quality of the built environment

##### a. Policy Q1 - Inclusive Environment

The policy seeks to improve existing accessibility provision and to ensure new developments are compliant with current practice.

##### b. Policy Q2 – Amenities

The policy provides information on supported amenities for new developments including impact of noise, adequate outdoor space and service equipment.

Regarding - Food and drink and visitor related uses and associated impacts

#### c. Policy Q9 – Landscape

Policy Q9 relates to the promotion of high-quality landscape treatment and sets out criteria which, where applicable, developments must aim to meet.

#### d. Policy Q18 – Historic environment strategy

Policy Q18 relates to the sustaining and enhancement of historic environment strategy, and sets out Lambeth's council approach to the conservation of heritage assets, which, where applicable, developments must aim to meet.

### 1.8.5.3 Environment and green infrastructure

#### a. Policy EN1 – Open Space and Biodiversity.

Policy EN1 seeks to protect and maintain open spaces and their function; also it seeks to improve the quality of, and access to, existing open space, including the range of facilities available and its biodiversity and nature conservation value and heritage value, through various means. Also the policy seeks to prevent developments resulting in the loss, reduction in area or significant harm to the nature conservation or biodiversity value of an open space.

### 1.8.5.4 Economic development, Retail and Town Centre Uses

#### a. Policy ED2 – Business, industrial and storage outside KIBAs, regarding the protection of employment generating uses.

The policy supports the creation and development of business - B1 (new class E(g)) uses across all sites. Also the policy allows the change of use from use class B (new class

#### MAYOR OF LONDON



## THE LONDON PLAN

THE SPATIAL DEVELOPMENT STRATEGY FOR LONDON  
CONSOLIDATED WITH ALTERATIONS SINCE 2011

MARCH 2016

# 1. ASSESSMENT

## 1.8 POLICY

E(g)) when the proposal secures major planning priorities for which there is a demonstrable need, such as local community or cultural uses (D1/ D2 - new classes E(e-f) & F1/ E(d) & F2 (c-d) and relevant sui generis uses).

b. *Policy ED6 – Town Centre*

c. *Policy ED7 – Evening economy and food and drink uses.* The policy promotes the development of evening economy and food & drink in its town centres while ensuring any adverse impact on local amenity is minimised. Evening and food & drink uses will not be supported where this would cause unacceptable harm to community safety or the amenity of neighbouring residential areas. The policy supports the use of outdoor space in association of food & drink only where this would not cause unacceptable harm to adjoining residential property and area generally, while taking into account the size & type of the proposal, the hours of use proposed and the nature & character of the area.

d. *Policy ED11 – Visitor attraction, leisure, arts and cultural uses.* The policy promotes the improvement of leisure, recreation, arts and cultural facilities in the borough where they meet local and wider needs.

e. *Policy ED14 - Employment and training*  
Policy ED14 seeks to support employment and training schemes to maximise local employment opportunities and help address skills deficits in the local population.

### 1.8.5.5 *Social Infrastructure*

*Policy S1 – Safeguarding existing community premises* with reference to also EN1 & ED2 mentioned above

Regarding the protection of uses associated with park maintenance.

The policy seeks to safeguard the existing community premises and supports & encourages the most effective use of them.

*Policy S2 – New or improved community premises*  
Regarding the provision of community facilities and associated amenity impacts.

Policy S2 supports proposals for new or improved premises for recreation, affordable meeting space and other community uses if the site or buildings are appropriate for their use and accessible to the community, and when the location, nature and scale of the proposal, including hours of operation, do not unacceptably harm the amenities of the area through noise, disturbance, traffic generation, congestion, local parking or negative impacts on road safety.



### Lambeth Local Plan

Adopted September 2015





## 2. INVOLVEMENT

### 2.1 COMMUNITY

#### 2.1.1 Community Involvement Key Stakeholders

2.1.1.1 A number of community and youth programmes, not-for-profit organisations and support groups have been consulted, and have responded positively by showing their interest through continued collaboration with the Leisure and Green Spaces team.

2.1.1.2 These include:

- Brockwell Park Community Partners (who have been heavily involved in the development of the project from the outset).
- Lambeth Conservation & Planning departments
- Brixton Society and Friends of Windrush Square.
- Ward Councillors in Lambeth and Southwark
- Cabinet Member
- Project Steering Group
- Lambeth Parks and Leisure Team
- The Georgian Society
- The Victorian Society
- LB Lambeth Parks Staff
- Local Members
- Groups and organisations using Brockwell Park
- People living in the vicinity of the Park
- Local Schools
- Local Faith Groups
- People with disabilities
- Growing Communities
- The existing café operator
- Residents Association
- Herne Hill Society and Herne Hill Forums
- Lambeth Local History Forum
- Sustain – Capital Growth Offer
- Older People's Reference Group
- Youth Parliament

2.1.1.3 Further information regarding consultation can be found in the draft Construction Management Plan (CMP).

#### 2.1.2 Consultations

2.1.2.1 As recorded in the Activity Plan, consultations to date for the project are as follows:

2.1.2.2 Previous relevant consultations:

- Brockwell Park – Audience Development Plan, Ken Burlton Consultancy 2008
- Feasibility Study and Vision for Brockwell Hall Report, LUC 2015

2.1.2.3 Residents Survey, November 2019

2.1.2.4 Brockwell Park Community Partners Consultation, March 2020

2.1.2.5 Audience-focussed consultations

- Young people (ages 11-19)
- Older people (70+)
- BAME
- Disabled users
- School groups
- Creative communities
- Community groups

#### 2.1.3 Project Board Meetings

The Design Team met the Project Board to review the design proposals at regular, key stages. The project board consisted of two representatives from the Brockwell Park and a local Councillor.



BPCP meeting held early 2020.

## 2. INVOLVEMENT

### 2.1 COMMUNITY

#### 2.1.4 Public consultation

2.1.4.1 The public was consulted as part of the development of the Activity Plan. The primary consultations and their key findings were:

##### 2.1.4.2 Residents Survey

- Conducted online and face to face in the park and surrounding areas. 366 responses identified current use, barriers to use, perception of community value, interest in future events and activities, volunteering, private hire and signposted community organisations to engage with.

##### 2.1.4.3 Brockwell Park Community Partners Consultation

- Saw a workshop for 20 members of the group and other stakeholders. The session was an opportunity to be updated and feedback on the work of the Design Team, Interpretation Planner, Business Planner and Activity Planner. Boards designed for this session were also displayed at 4 drop-in sessions in the Hall and online allowing comments from the wider public.

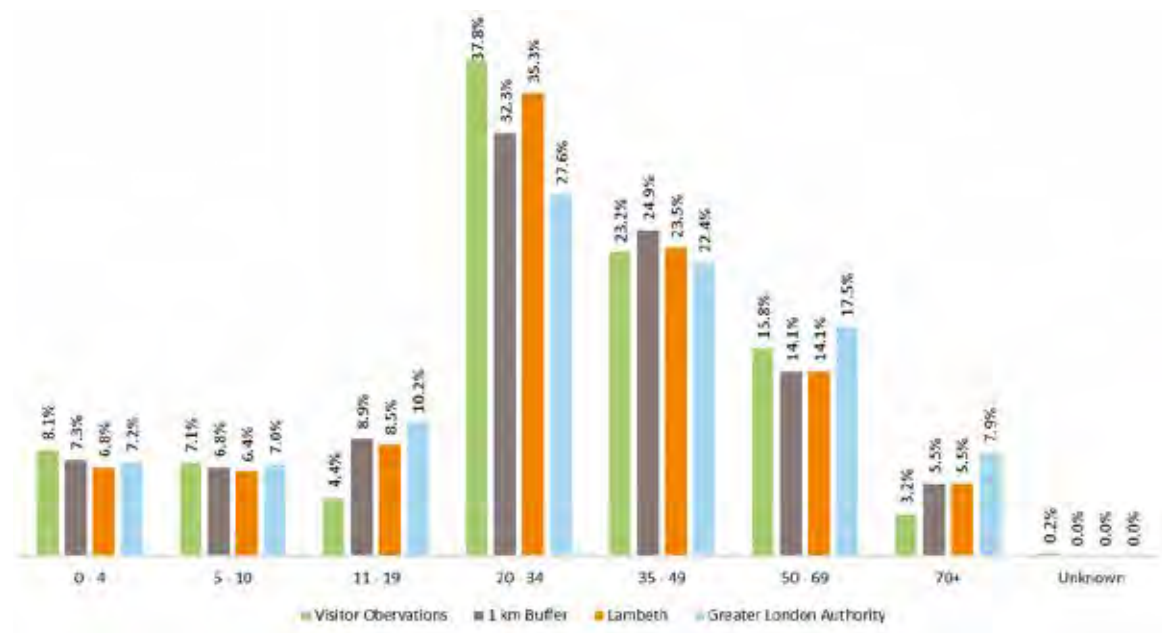
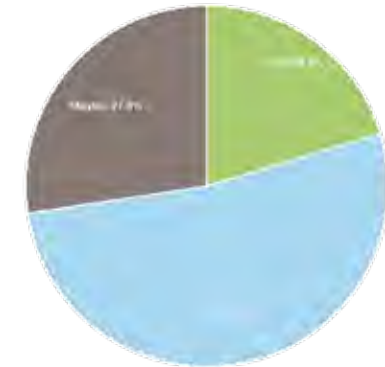
##### 2.1.4.4 Individual Consultation

- With over 40 community groups, organisations and individuals representing residents' associations, community groups, disability groups, ethnic minority community associations, organisers of existing events and activities, charities, education and training providers.
- Whole team meetings with the Black Cultural Archive and the Community Greenhouses have been held.

#### 2.1.4.5 In-depth group conversation

- Held with target audience user groups. Includes a session with Lambeth Learning Disability Assembly Forum, a tour of the Hall, and a workshop with parents and carers from Jubilee Primary School English for Speakers of Other Languages Group.

Do you perceive Brockwell Hall to be providing good community value?



Age profile of groups who visit the Brockwell Hall cafe.



## 2. INVOLVEMENT

### 2.1 COMMUNITY

2.1.4 Pilot schemes have been used to propositions. Four schemes targeting different audiences, as well as each scheme's key findings, are summarised here.

#### 2.1.5 **Pilot 1: Street Art Reinterpretation of the Strachey Paintings in the Picture Room**

##### 2.1.5.1 *Audience*

- a. Young people (11-19)

##### 2.1.5.2 *Learning objectives and themes*

- a. Heritage of the Building – The Picture Room
- Natural Heritage of the Park

##### 2.1.5.3 *Delivery*

- a. The project will partner with a street artist. We will engage some young people from the local area either through contacts held by Positive Arts or through our contact from St Matthew's Project, a youth football team who play at Brockwell Park.

- b. Participation with financial incentives may be encouraged – most likely in the form of the Brixton Pound, a local initiative to encourage spend in local businesses.

- c. Through the project, young people will be introduced to the Picture Room of Brockwell Hall, the Strachey Paintings and their historical context. They will then take part in a graffiti workshop teaching them about graffiti's history and techniques, before designing boards that interpret the existing Strachey paintings.



Strachey paintings in the existing Picture Room of Brockwell Hall.

## 2. INVOLVEMENT

### 2.1 COMMUNITY

#### 2.1.6 **Pilot 2: Living Memories of Brockwell Hall and Park**

##### 2.1.6.1 *Audience*

- a. Older people (70+)

##### 2.1.6.2 *Learning objectives and themes*

- a. Oral Histories: Living Memories

##### 2.1.6.3 *Delivery*

- a. Postcards will be created which show different images either of or relating to events which have taken place in Brockwell Hall and Park using images taken from the Archive or provided by project partners as appropriate. The postcards will be distributed by post or hand.
- b. The postcards will be sent to people with a short introduction to the project and channels through which to stay involved. People will be asked to write their thoughts and memories stimulated by the images on the back of the postcard and then return them to the project team for free.
- c. Participation may be incentivised with a prize draw, again to win prize money in the form of the Brixton Pound.
- d. The postcards will also collect basic demographic data, contact information and any reflections on the experience and emotions of seeing the photographs and contact details for those who might be interested in being further involved i.e. in the recording of oral histories.

- e. On being returned to the project team the memories will be shared, either as a display within the hall or processed so they can be shared online. These memories will be saved to enrich the Hall collection.



## 2. INVOLVEMENT

### 2.1 COMMUNITY

#### 2.1.7 Pilot 3: Wax Printing Fabrics

##### 2.1.7.1 Audience

- a. BAME

##### 2.1.7.2 Learning objectives and themes

- a. Heritage of the Hall and Park, Living Memories, Wax printing fabric

##### 2.1.7.3 Delivery

- a. Participants will be from the English for Speakers of Other Languages Learning Unlimited Group linked to Jubilee Primary school.
- b. Participants will be sent a craft kit with instructions to produce wax printing fabric prints at home, the activity will be suitable for all family members to participate in with parental supervision. They will be asked to think about patterns, either that have roots in their own heritage and native inherited objects or templates from architectural details of the hall or parkland nature which inspire them. If there are inherited items that patterns are based on photographs of these could be submitted alongside the fabrics themselves.
- c. The pieces will then be returned to the project team for free and a patchwork wall hanging will bring them together with a view to displaying this in the hall again enriching the collection with community artwork.

#### 2.1.8 Pilot 4: Testing Resources for Schools Use

##### 2.1.8.1 Audience

- a. Education

##### 2.1.8.2 Delivery

- a. Local teachers will be contacted with a pack including:
  - Information about the hall and restoration project
  - Details about the facilities to be created for schools through the project
  - Some outline workshops aimed at primary and secondary which could be further developed as an educational resource for Brockwell Hall
  - And an online survey allowing them to feedback thoughts on the proposed facilities, the relevance of an education offer to them and an opportunity to feedback on proposed links into the curriculum and reflections on the digital educational resource.



Women queue at a Fabric stall in African dress, 1996, Brixton.



Batik, Biodiversity Tapestry by Mirah.



## 2. INVOLVEMENT

### 2.2 PROFESSIONAL

#### 2.2.1 Professional consultation

2.2.1.1 Professional advice has been sought to inform and guide the design decisions from an early stage. The project team has consulted with the following parties:

- London Borough of Lambeth Council
- Pre-Application Consultation
- Lambeth Conservation Officer
- Dominic Cole Landscape Architects
- Historic England

2.2.1.2 The following surveys have also helped to shape the design:

- Arboriculture survey
- Ecological Appraisal

#### 2.2.2 Summaries from key consultants:

##### 2.2.2.1 Conservation officer and Historic England

- a. The project team has developed good working relationships with both the conservation officer at LB Lambeth Council and the heritage consultant at Historic England.
- b. Three pre-app meetings were held with both at these dates:
  - 13 February 2020
  - 28 May 2020
  - 3rd August
- c. Refer to the Heritage Statement for detailed comments from the conservation officer following these meetings and how these have guided the development of the scheme.

- d. Historic England has subsequently issued a pre-application advice letter stating that they are "pleased to see that much of our advice has been taken on board in the emerging proposals". The letter can be viewed in full in the Heritage Statement.

##### 2.2.2.2 Planning officers

- a. The design team engaged in a Planning Performance Agreement with LB Lambeth on 24 July 2020.



### 3. EVALUATION

#### 3.1 CONSULTATION

##### 3.1.1 Events and Activities

- 3.1.1.1 Per audience, respondents were interested in the topics to do with the project listed below.
- 3.1.1.2 *Wider Community*
  - a. Experiencing the restoration, local heroes project, celebration launch event and a regular programme of events (recreating the country show, the Brockwell Trail, bandstand Sunday, walks and tours, speakers corner events, Sunday morning arts, craft hour, mother and baby and reduce/reuse/recycle events)
- 3.1.1.3 *Young people (11-19)*
  - a. Hoardings project, annual youth project linking to Mighty Hoopla or similar future events, open MIC/ poetry slam/ speakers corner events, SLYT and Youth Panel
- 3.1.1.4 *Older people*
  - a. Buddy walks and access days, exercise and well-being sessions, reminiscence sessions, lecture series, concerts and theatre
- 3.1.1.5 *BAME*
  - a. Community events fund, Well World Choir, Windrush day, interpretation projects
- 3.1.1.6 *Disabled Users*
  - a. Buddy walks and access days, Into Sport classes, art for well-being sessions, volunteering projects and placements
- 3.1.1.7 *Creative Communities*
  - a. Support existing community events, establish an arts and crafts fair as well as art classes, workshops and opportunities to exhibit.



### 3. EVALUATION

#### 3.2 ECONOMICAL

##### 3.2.1 Revenue

- 3.2.1.1 Since the Round 1 application, additional income streams have been incorporated into the business plan.
- 3.2.1.2 The adjacent table shows the income projections for year 5 of the project. The figures compare the revenue projections of the Round 1 bid with those of the current Round 2 business plan.
- 3.2.1.3 The main areas of difference between Round 1 and 2 are the inclusion of new revenue streams not evaluated or quantified in the first plan including:
- Wedding ceremonies
  - community hire,
  - Outdoor market
  - Schools visits
  - Uplift in Film/photo shoot income,
  - Reduction in café income (since we can only claim additional revenue)
- 3.2.1.4 The net effect of all the changes has been to increase the projected Year 5 revenue by £86,000.

##### 3.2.2 Proposed public and commercial access to Brockwell Hall

- 3.2.2.1 A strategy for managing community access was developed to ensure that certain areas of the proposed facilities, in both the Hall and the Community Events Space, can be for exclusive use during a commercial hire such as a wedding, corporate event or photo shoot.

Brockwell Park Business Plan Round 1 and Round 2 Revenue with mobile/storeable exhibition			
	Year 5		
Item	Round 1	Round 2	Variance
No. of weddings	21	25	4
Wedding Ceremonies:			-
Hall	0	60	60
Walled Garden	0	10	10
Functions	44	44	-
Corporate bookings	32	32	-
Community room hire	0	200	200
School visits	0	66	66
Film/Photo Shoots in Hall	12	20	8
Outdoor market (Sundays)	0	50	50
<b>Income</b>	<b>£</b>	<b>£</b>	<b>£</b>
Weddings	111,500	131,000	19,500
Wedding Ceremonies:			0
Hall	-	33,000	33,000
Walled Garden	-	5,500	5,500
Functions room hire	27,250	27,250	0
Corporate room hire	20,750	20,000	-750
Catering revenue 10%	18,365	30,550	12,185
Community room hire	-	5,500	5,500
School visits	-	4,950	4,950
Film/Photo Shoots in Hall	8,820	29,250	20,430
Café income	60,000	45,000	-15,000
Ice cream concession	14,400	-	-14,400
Outdoor market (Sundays)	-	15,000	15,000
Escape room	-	(TBC)	
<b>Total Revenue</b>	<b>261,085</b>	<b>347,000</b>	<b>85,915</b>



### 3. EVALUATION

#### 3.2 ECONOMICAL

- 3.2.2.2 There was much discussion regarding the public use of the spaces in Winter and Summer. Following consultation, the indicative schedules on the following page show the current position.
- 3.2.2.3 The public will have access to the café and Picture Room at all times. These are situated in the centre of the building in the Servants Wing.
- 3.2.2.4 There will also be public access to the Community Events Space and Yard on public days and when there are markets and other community events running there.



### 3. EVALUATION

#### 3.2 ECONOMICAL

October to March	Public Use			Commercial Use		
	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
Activities Co-ordinator						
Volunteer Co-ordinator						
Daytime	10am - 4pm			9am - 4pm		
Small Meeting rooms 1st floor (x3)	Available for Community Hire, Volunteer Groups, Activities Co-ordinator led Activities			Available for Commercial hire (workshops & meetings), Bridal Change and Prep		
Bristowe Room	Reminiscence sessions	Together Tuesday- Art for Well-being, Into Sport Classes for Disabilities	Schools	Wedding ceremonies, commercial hire (small conferences, larger meetings)		
Function rooms Ground floor	Exhibition of local history open to the public; Temporary exhibitions, Available for Community Hire, Volunteer Groups, Activities Co-ordinator led Activities			Conferences, Team building, Away days	Available for Private Functions, Wedding Ceremonies and receptions	
Community Event Venue	Cleaning Day	Together Tuesday- Into Sport Classes	Schools	Conferences, Team building, Away days, Fun days, Wedding Day set up		
Café and Picture Room	Open to General Public 10am - 4pm Local exhibitions, Interpretation of Brockwell Park and Hall					
Stable yard	Community outdoor events			Use in conjunction with corporate team building, Fun days or setting up for evening use		
Evening	5 - 8pm			5 - 8pm		
Small Meeting rooms 1st floor (x3)	Youth Panel meetings, Morley College Community Learning			Green Room (for Catering staff, performers, photographers etc) Pop-up Kitchen		
Bristowe Room	Play rehearsals	Yoga Class	Poetry slams	Available for Private functions Dinners, Celebrations, Wedding Ceremonies		
Function rooms Ground floor	Well World Choir practice	Spring/ Autumn Lecture Series	Community Meetings	Private Functions Dinners, Celebrations etc		
Late evening	6pm up to 1am			6pm up to 1am		
Community Event Venue	Cleaning day	Youth Project- Samba Drumming Workshop	South London Youth Theatre,	Portuguese, Somali & Afro-Caribbean cultural events	Weddings dinner/dance, Private functions/ Corporate events	
Stable yard		Use in conjunction with Community events in the New Event Venue			Use in conjunction with wedding and other functions with pop up stalls and drinks stands	

Programme of potential Winter events scheduled in the business plan.

April to October	Public Use			Commercial Use		
	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
Activities Co-ordinator						
Volunteer Co-ordinator						
Daytime	10am - 5pm			9am - 5pm		
Small Meeting rooms 1st floor (x3)	Available for Community Hire, Volunteer Groups, Activities Co-ordinator led Activities			Available for Commercial hire (workshops & meetings) ; Bridal Change & Prep (Dependent on Venue Hire)		
Bristowe Room	Play rehearsal	Together Tuesday- Art for Well-being	Schools	Wedding ceremonies, commercial hire (small conferences, larger meetings)		
Function rooms Ground floor	Exhibition of local history open to the public; Available for Community Hire, Volunteer Groups, Activities Co-ordinator led Activities			Conferences, Team building, Away days	Available for Wedding receptions & Wedding Ceremonies, Private Functions	
Community Event Venue	Mum & Baby Monday	Together Tuesday- Into Sport Classes	Schools	Conferences, Team building, Away days, Fun days, Wedding Day set up		
Café and Paintings Room	Open to General Public 9am - 6pm					
Evening	6pm - 1am			6pm - 1am		
Small Meeting rooms 1st floor (x3)	Volunteer Newspaper Clipping Project Meeting; Morley College Community Learning			Green Room (for Catering staff, performers, photographers etc), Pop-up kitchen		
Bristowe Room	Choir Practice	Yoga Class	VCO/Clubs Meeting	Wedding Ceremonies		
Function rooms Ground floor		Spring/ Autumn Lecture Series	Youth Project- Samba Drumming Workshop	Private Functions Dinners, Celebrations etc		
Community Event Venue	Cleaning	South London Youth Theatre	Yoga classes	Weddings dinner/dance, Private functions/ Corporate events		
Stable yard		Use in conjunction with Community events in the New Event Venue		Use in conjunction with wedding and other functions with pop up stalls and drinks stands		

Programme of potential Summer events scheduled in the business plan.

### 3. EVALUATION

#### 3.3 HERITAGE

3.3.1 The heritage-led design response was guided and framed by consultations with Historic England and the Conservation Officer. These consultations primarily occurred as three pre-application meetings, with the focus of each one summarised here.

##### 3.3.2 Pre-App 1, 13 February 2020

3.3.2.1 This consultation focussed on the first draft of the Conservation Plan, which was prepared, launched, and circulated broadly after public engagement workshops held afterwards in the Hall and Park.

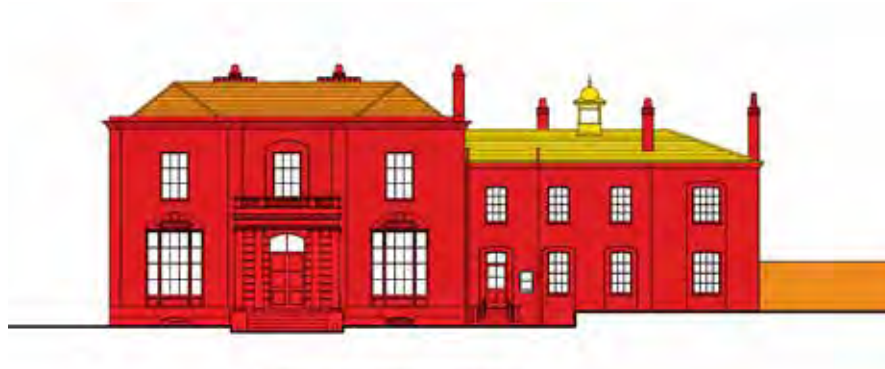
3.3.2.2 The primary change to the HS drawings was to increase the significance of the Servants Wing elevations to Very High.

##### 3.3.3 Pre-App 2, 28 May 2020

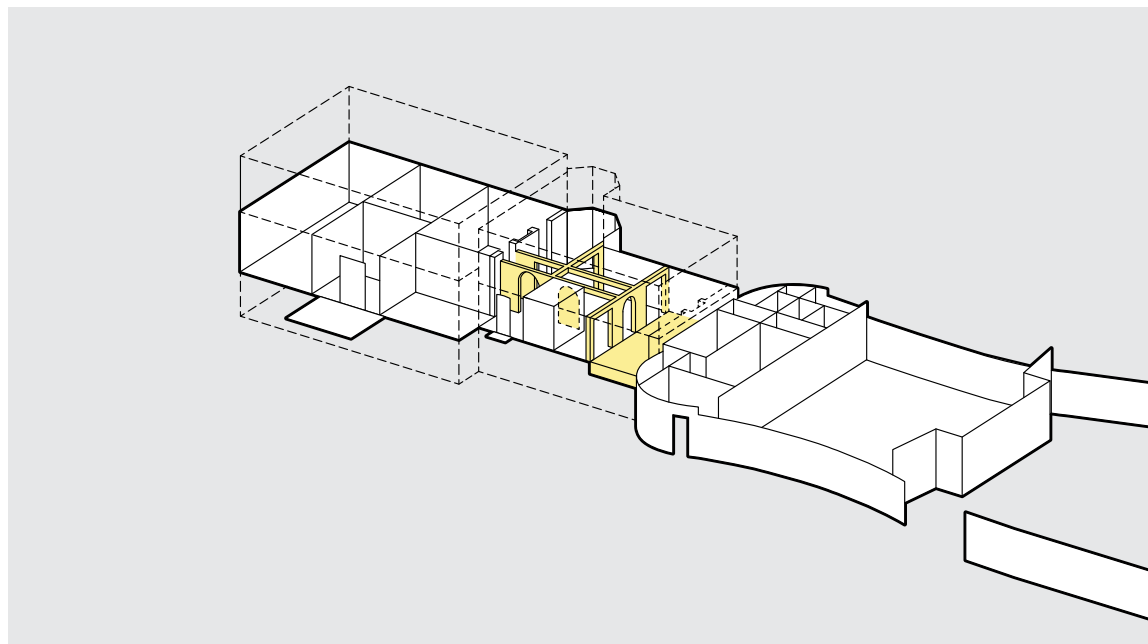
3.3.3.1 Focussed on here was the need for heightened sensitivity to the existing and historic internal wall fabric of the ground floor of the Servants Wing, which was particularly threatened by the insertion of the new café kitchen.

3.3.3.2 The internal fabric, its retention, and memory was here prioritised in the design. The kitchen was relocated into the new build, which would restore and open up more of the Servants Wing for public use and engagement.

3.3.3.3 The new Community Events Space roof was also of concern at this point, as its height and overall mass seemed to dominate the setting of the Hall.



Revised Heritage Significance drawing of the Hall showing Very High Significance applied to elevations.



Proposed internal layout of the café in the existing Servants Wing of Brockwell Hall.



### 3. EVALUATION

#### 3.3 HERITAGE

3.3.3.4 The roof was reduced in size (height and expanse) to allow the existing Yard walls to retain prominence.

##### 3.3.4 Pre-App 3, 3 August 2020

3.3.4.1 This consultation focussed on the need for a high-level specification of materials to be used in the new Community Events Space as well as an idea of how visible the roof of the new build would be in the context of the Hall.

3.3.4.2 New images were produced that overlaid real imagery of the setting onto the scheme's model, illustrating how vegetation and a lower roof pitch would assist in ensuring the Hall's prominence.

3.3.4.3 A high-level material index was drawn up.



North-west perspective of the scheme and the new roof behind existing vegetation.

### 3. EVALUATION

#### 3.4 PLANNING POLICY

##### 3.4.1 NATIONAL PLANNING POLICY NETWORK

###### 3.4.1.1 13. Protecting Green Belt Land

- a. The fundamental aim of the Green Belt policy is to prevent urban sprawl by keeping land permanently open; the essential characteristics of Green Belts are their openness and their permanence.
- b. The policy promotes positive enhancement through looking for opportunities to provide access; to provide opportunities for outdoor sport and recreation; to retain and enhance landscapes, visual amenity and biodiversity; or to improve damaged and derelict land.
- c. The policy seeks to limit development in green belt land with the exception to the extension or alteration of a building provided that it does not result in disproportionate additions over and above the size of the original building.
- d. The project is in line with the policy and supports the permanence of the Metropolitan Open Land, by not altering the openness of the park as a whole and through the introduction of new open space. The development will turn the currently under-utilised courtyard - used partially as storage for park maintenance, not available for access to the public, into a lively, accessible to the public outdoor space. The project seeks to extend the current building that will give access to the outdoor space, the size of the new extension being less prominent in size and height than the main building - Brockwell Hall.

##### 3.4.1.2 14. Meeting the CHallenge of Climate Change, Flooding and Costal Change

- a. Paragraph 148 encourages the reuse of existing resources including the conversion of existing buildings.
- b. The intended refurbishment of Brockwell Hall and the Stable Block should bring them up to current thermal insulation standards.
- c. Where we are replacing existing doors and glazing, these should also be brought up to meet or better current standards.
- d. The new extension to Brockwell Hall - The Community Events Space, will comply with current standards for low carbon energy.

##### 3.4.1.3 12. Achieving well-designed places

- a. Paragraph 127 promotes the creation of places that are safe, inclusive and accessible and which promote health and well-being.
- b. Addressing point 127 (f) is one of the key drivers for the need to transform the under-used and back-of-house service spaces as well as introducing level access facilities to be shared by all users of the building.

##### 3.4.1.4 16. Conserving & Enhancing the Historic Environment

- a. The proposals set out in this document should respond to the issues raised in the NPPF by respecting the existing buildings whilst creating a positive environment accommodating the required facilities.

- b. The Historic environment strategy in the Lambeth Local Plan sets out the wider local issues relating to the historic environment, which have been examined in the Heritage Assessment in detail to be addressed by the proposal.

##### 3.4.2 THE LONDON PLAN

###### 3.4.2.1 Policy 3.1 Ensuring Equal Life Chances for All

- a. The project protects the need to have areas in which children and adults alike can access informal recreational facilities within the Park.
- b. A new building will enhance existing community facilities in the Park, without removing any existing community space.

###### 3.4.2.2 Policy 4.6 Support for and Enhancement of Arts, Culture, Sports and Entertainment

- a. The proposed works to Brockwell Hall should improve additional space in the existing building available for community exhibitions and creative workshops.
- b. There is good existing access by public transport and new cultural ventures could be integrated with an events programme which aims to foster more sustainable communities.

###### 3.4.2.3 Policy 7.17 Metropolitan Open Land

- a. The London Plan designates Brockwell Park as Metropolitan Open Land. The policy advises that improvements in overall quality and accessibility are encouraged.

### 3. EVALUATION

#### 3.4 PLANNING POLICY

- b. The project addresses the policy through the introduction of accessible entrances and improved quality of the existing landscaping and building stock.

##### 3.4.3 LAMBETH LOCAL PLAN

###### 3.4.3.1 Policy Q2 – Amenity

- a. The proposal complies with the provisions in policy Q2 including the provision of outdoor space, integrated building services within the building fabric and location of plant room in visually inconspicuous location.
- b. Brockwell Hall is located in the heart of Brockwell Park, within a distance from the surrounding residential areas. There will only be minimal impact from noise in result of visitors to the café and community events centre.

###### 3.4.3.2 Policy Q9 – Landscape

- a. The landscape proposal seeks to retain planting and landscaping features of value with the introduction of new planting in keeping with the character of the existing vegetation.
- b. Furthermore the proposed landscaping works will restore the curvilinear nature of the plan as shown on original landscape drawings from the 1870s that was lost through more recent alterations and led to more rectilinear hard standing areas of tarmac.
- c. The proposals seeks to reduce the areas of tarmac and introduce loading bays, DDA parking & cycle spaces to comply with the minimum parking space standards.

###### 3.4.3.3 Policy Q18 – Historic environment strategy

- a. The Historic environment strategy sets out the wider local issues relating to the historic environment, which have been examined in the Heritage Assessment in detail.

###### 3.4.3.4 Policy EN1 – Open Space and Biodiversity

- a. The proposal seeks to create more public space available for access to the local community with the extension of the hall and the utilisation of the currently under-used courtyard as a space for social activities, meeting, events, weddings.
- b. The proposed works do not seek to reduce the openness of the park or its biodiversity thus it is in compliance with the policy.
- c. In addition the project will improve the existing facilities and access to Brockwell Hall through the refurbishment of the existing facilities and immediate landscaping.
- d. In support of the biodiversity and protected habitats and species an Ecological survey has been produced with recommendations for the proposal. Refer to Appendix F for details. A preliminary bat potential survey can be found in Appendix I.

###### 3.4.3.5 Policy ED2 – Business, industrial and storage outside

- a. The project will provide space for job-creating start-up businesses and events, which focus directly on providing work and training opportunities to reinforce life chances thus it will create new employment and provide support for the development of new businesses in line with policy ED2.

- b. The development seeks to provide future training in horticulture and volunteer-focused skills, apprenticeships, and three project funded employment posts.

- c. Furthermore the project will engage local communities through the introduction of heritage activities including community archeology digs, the establishment of educational initiatives, development of food growing and the implementation of culture events.

###### 3.4.3.6 Policy ED6 – Town Centre

- a. Brockwell Hall is located within a park environment and the proposal will not impact food and drink establishments located within town centres.
- b. The proposal will add value through the restoration of the existing cafe, and correspondingly complies with Policy ED6 which safeguards local shops and other services to meet community need in neighbourhoods.

###### 3.4.3.7 Policy ED7 – Evening economy and food and drink uses

- a. Brockwell Hall is located in the centre of Brockwell park, within a considerable distance from the surrounding residential areas. It is not envisioned that there would be impact from noise, traffic or litter, impact of deliveries in result of visitors and operation to the cafe and community events centre.



### 3. EVALUATION

#### 3.4 PLANNING POLICY

- b. A management plan will be produced with stipulated opening times and procedures for managing the venues in regards to noise, traffic, litter, deliveries.
- c. A transport plan will be produced with analysis on traffic impact.
- d. A noise survey will be produced with analysis on noise impact.

##### 3.4.3.8 **Policy ED11 – Visitor attraction, leisure, arts and cultural uses**

- a. The proposal complies with Policy ED11 and will provide a variety of much needed uses to the local community that were identified through research and consultation with the local communities and professional bodies.
- b. Culture, art & leisure events such as art projects, workshops, outdoor theatre, bandstand concerts, food growing, heritage activities will attract more visitors and will have a positive impact on the local communities.

##### 3.4.3.9 **Policy ED14 - Employment and training**

- a. The proposal aims to provide new employment and training opportunities to reinforce life chances. Further details can be found in the Brockwell Hall Activity Plan.

##### 3.4.3.10 **Policy S1 – Safeguarding existing community premises**

- a. The project complies with the policy and will retain the existing community premises by improving and restoring the existing spaces.

- b. The park maintenance team will be relocated to the newly created depot at Norwood Lodge and thus provide the team with an improved space more suitable for the park maintenance needs, and parallel to it freeing and restoring the much needed space for job-creating start-up businesses in the Stables block.
- c. The new proposal will improve the quality of the Stable Block, which is very much back-of-house in the existing configuration, by creating a more public realm.

##### 3.4.3.11 **Policy S2 – New or improved community premises**

- a. The scheme is fully in line with Policy S2 by providing accessible, flexible, adaptable spaces for the use of the community.
- b. The location, nature and scale of the proposal will not unacceptably harm the amenities in the area. Further detail can be found in the Management Plan, Transport plan and Noise survey.

## 4. DESIGN

### 4.1 USE

- 4.1.1 The design proposals for Brockwell Hall, its Stable buildings and yard as well as the Maintenance Depot have been developed through a series of iterations reviewed by the Lambeth Parks client team and the Brockwell Park Community Partners.
- 4.1.2 The proposals seek to address the fundamental deficiencies identified through extensive consultation and target requirements and ambitions set out in both local and national planning policy.
- 4.1.3 The Business Plan identifies the need for the restored Hall to generate its own income. The report provides a detailed comparison of use options, which could support the proposed Park expenditure. The adjacent table is a summary of this plan.
- 4.1.4 As part of this research, the report identifies the current local provision for the following uses;
- Cafés
  - Community Spaces
  - Wedding Ceremony Venues
  - Wedding Reception Venues

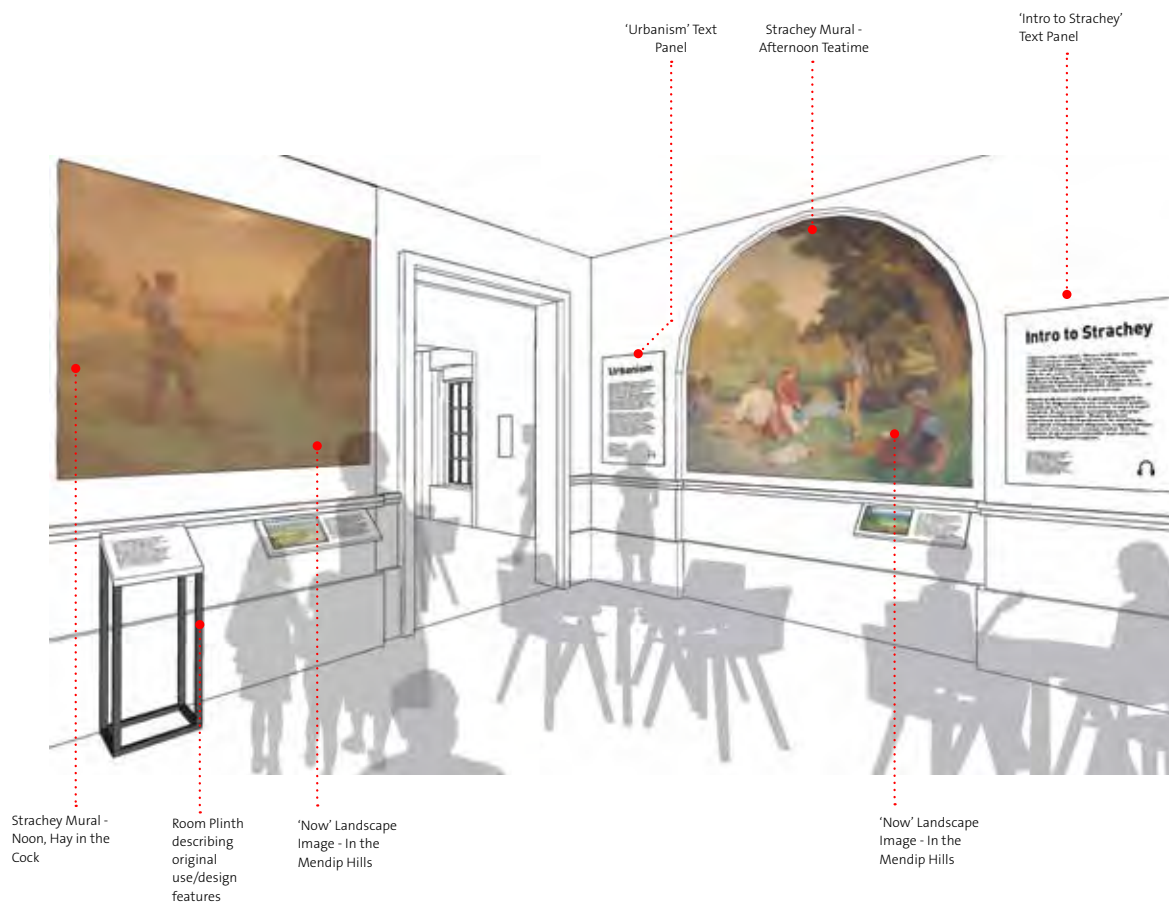


Community Events Space being used for a community gathering.

## 4. DESIGN

### 4.1 USE

- 4.1.6 Key to any redevelopment of Brockwell Hall was the relocation of the LB Lambeth Parks Maintenance facilities with its multitude of vehicles, waste/recycling facility, staff areas and plant storage that currently occupy the whole of the Stables and Stables Yard.
- 4.1.7 The proposal seeks to move the whole facility into a rationalised purpose-built Maintenance Depot within the area on the far southern boundary at the junction of Norwood Road and Brockwell Park Gardens.
- 4.1.8 This will also remove a considerable amount of vehicular movement from the park as a whole, reducing Health & Safety issues and improving air quality.
- 4.1.9 The café will remain in the Main House but is relocated to the Servants Wing. This allows it to re-establish itself as the prime user of the Picture Room as well as moving all the unsightly serviced kitchen extract equipment into a new purpose-built annex.
- 4.1.10 All of the more formal ground floor rooms of the Main House can now be restored to their former glory and their interconnectivity regained. Comprehensive exhibitions and activities to allow visitors to better understand the history and evolution of the Hall is proposed.
- 4.1.11 The upper floors of the Main House contain both the offices of the new events team dedicated to the activities generated by this project as well as restored rooms for public use or private hire.



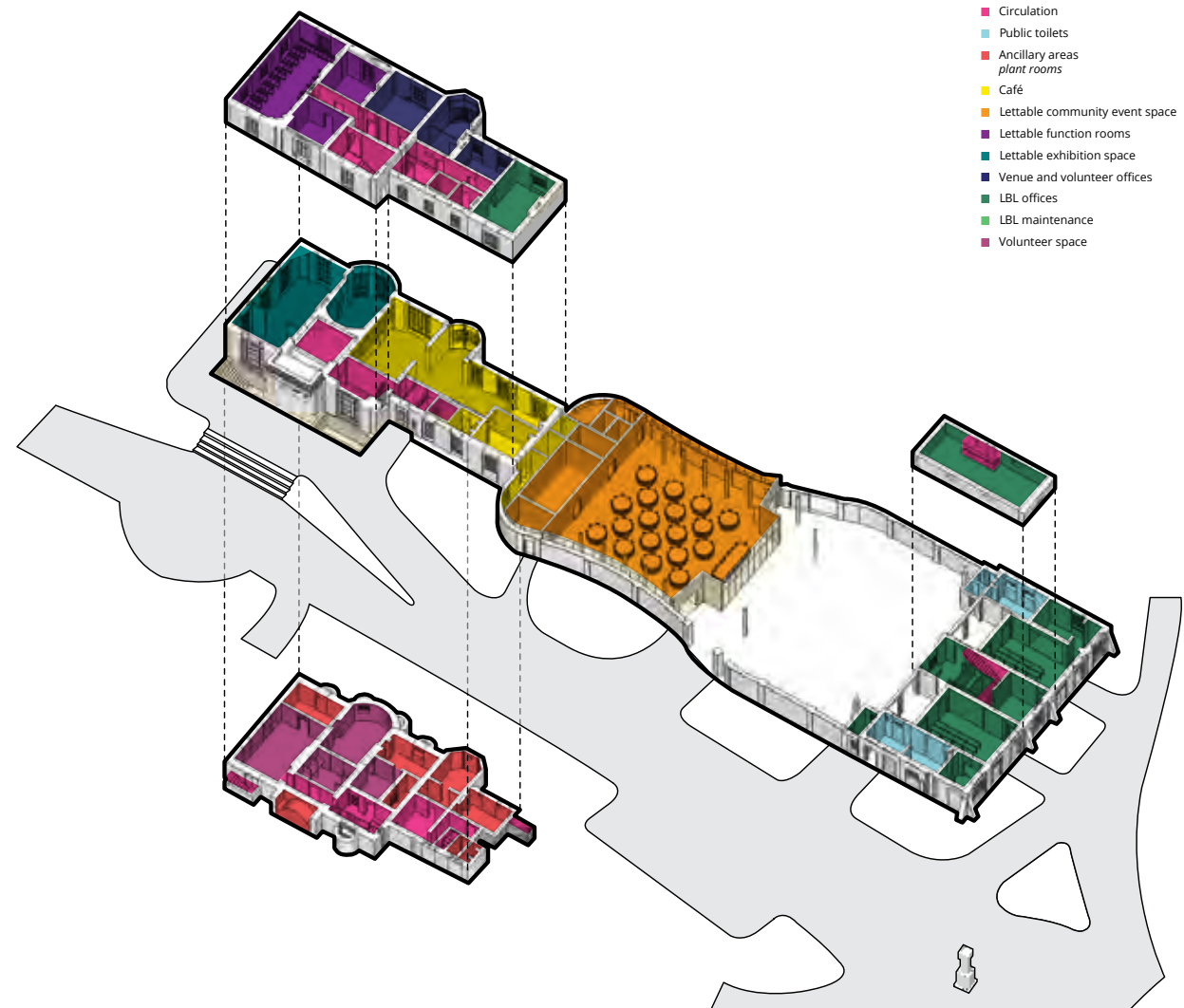
Café seating amongst a comprehensive exhibition in the Picture Room.



## 4. DESIGN

### 4.1 USE

- 4.1.12 Within the Stables Yard a new Community Event Space will be created that can accommodate both special local events as well as weddings of up to 160 guests.
- 4.1.13 The Stables themselves will be restored and become the permanent offices of the LB Lambeth Parks staff that currently use the majority of the first floor and part of the ground floor of the Main House and Servants Wing.
- 4.1.14 The public toilets remain in their current locations but will be completely refurbished whereby the Female toilets and dedicated accessible WC remain but the male toilets will become non-gender-specific.
- 4.1.15 As far as the basement or lower ground floor of the Main House is concerned due to its damp and dark condition it is proposed to remove café kitchen uses from this area and primarily allow it to be a resource space for the BPCP volunteer's use. With its separate access to the park it is ideally suited for storage of collapsible Gazebos, tables and chairs currently stored in the Stables Yard. It also has a dedicated WC.
- 4.1.16 In terms of planning use class, the project is to be considered as a whole, and as such, the mix of uses includes places to eat and drink, places to work, places to learn, places for indoor and outdoor sports and recreations. The project does not fall within a single use class and would therefore be considered Sui Generis.



3D view illustrating proposed uses in Brockwell Hall and the Stables Block and Yard.

## 4. DESIGN

### 4.2 AMOUNT

- 4.2.1 These changes will bring about an overall increase in area of the buildings, owing in large part to the new Community Events Space and staff accommodation building at the new Grounds Maintenance Depot.
- 4.2.2 The adjacent table demonstrates the overall change in uses and their respective areas throughout the redevelopment project as a whole.
- 4.2.3 The project will increase publicly-available spaces as well as securing a variety of revenue spaces.
- 4.2.4 The overall areas for the café, LBL Staff, LBL Depot and public WCs remain broadly unchanged.

USE	EXISTING AREAS m <sup>2</sup>							
	Main House				Stables		Norwood Lodge	Totals
	Basement	Ground	First	Roof	Ground	First		
Circulation	30	53	51	-	6	3	-	142
Public toilets	-	-	-	-	52	-	-	52
Ancillary areas	44	18	-	32	-	-	-	94
Café	108	81	-	-	-	-	-	189
Community space	-	38	56	-	-	-	42	135
LBL offices	35	86	145	-	-	-	-	266
LBL maintenance	-	-	-	-	332	45	-	377
Totals	217	276	252	32	390	48	42	1256
	776				438			

USE	PROPOSED AREAS m <sup>2</sup>							
	Main House				Stables		Norwood Lodge	Totals
	Basement	Ground	First	Roof	Ground	First		
Circulation	45	51	69	-	4	3	-	173
Public toilets	-	-	-	-	51	-	-	51
Ancillary areas	74	-	-	32	-	-	-	106
Café	-	161	-	-	-	-	-	161
Lettable community event space	-	297	-	-	-	-	42	339
Lettable function rooms	-	-	91	-	-	-	-	91
Lettable exhibition space	-	82	-	-	-	-	-	82
Venue and volunteer offices	-	-	56	-	-	-	-	56
LBL offices	-	-	34	-	146	42	-	222
LBL maintenance	-	-	-	-	-	-	227	227
Volunteer space	97	-	-	-	-	-	-	97
Totals	217	590	250	32	200	45	269	1603
	1089				246			

Variance	313				-193		227	347
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Table illustrating changes in use areas from the existing condition in the proposed scheme.

## 4. DESIGN

### 4.3 LAYOUT

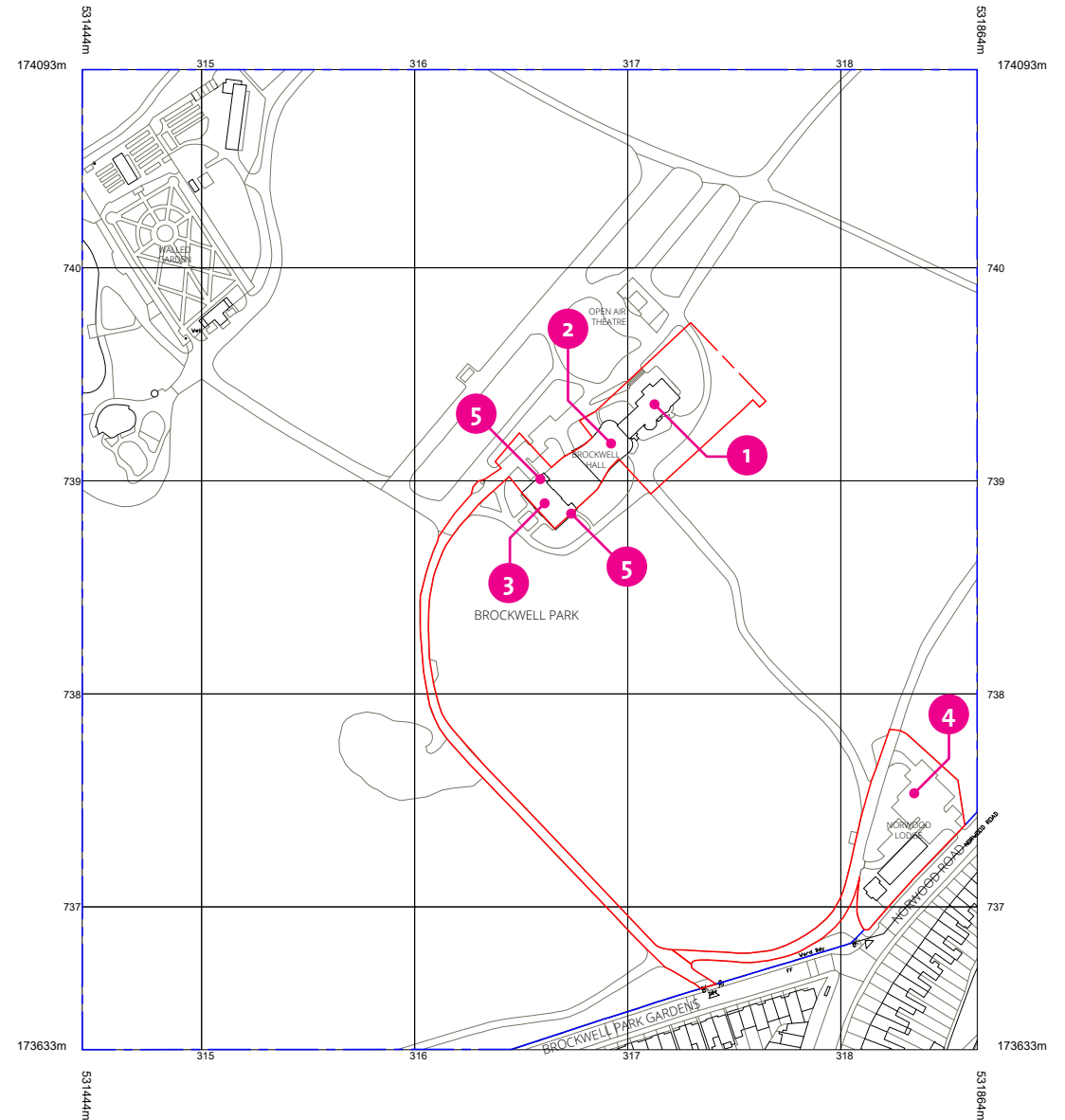
#### 4.3.1 Overview

4.3.1.1 The adjacent site plan shows the overall proposed layout of the following new facilities within the context of Brockwell Park and the nearest public highway.

- 1 Brockwell Hall and Café
- 2 New Community Events Space
- 3 Stable Block
- 4 New Maintenance Depot
- 5 Public toilets

#### 4.3.2 6 Landscaping

The following pages illustrate in more detail the proposed plan layouts of the Hall, Community Event Space, Stables and Maintenance Depot.



Site plan of Brockwell Park showing position of facilities of proposed scheme.



## 4. DESIGN

### 4.3 LAYOUT

#### 4.3.3 Brockwell Hall and Café

##### 4.3.3.1 *Restoration of highly-significant Function Rooms*

- a. The rooms currently in use by the existing café will be restored to their former glory by the removal of ad hoc insertions made by the incumbent café. Detailing and cornices destroyed by these insertions will be restored, and the rooms will be used for a flexible interpretative exhibition of the Hall's history.
- b. A new terrace, as part of the new landscaping around the Hall, will replace the existing one to the north-west of the Function Rooms, providing visitor access to the outside from the Hall.

##### 4.3.3.2 *New café and servery*

- a. A new café is proposed for the current Servants Wing and the Picture Room. This space will comprise of a servery and seating area only, with all kitchen- and service-related functions allocated to the new building in the Stable Yard.
- b. The historic spaces offered by the Hall will then be for public enjoyment and engagement, with the Picture Room and restored Function Rooms having an interpretation offering of the Hall's history.
- c. While the servery's location must allow for the efficient running of the café, it's placement will trace and enhance the memory of the existing significant fabric, a large part of which will remain in the form of downstands and columns.
- d. A new terrace on the south-eastern façade will allow visitor access from the park to the café seating area and servery.



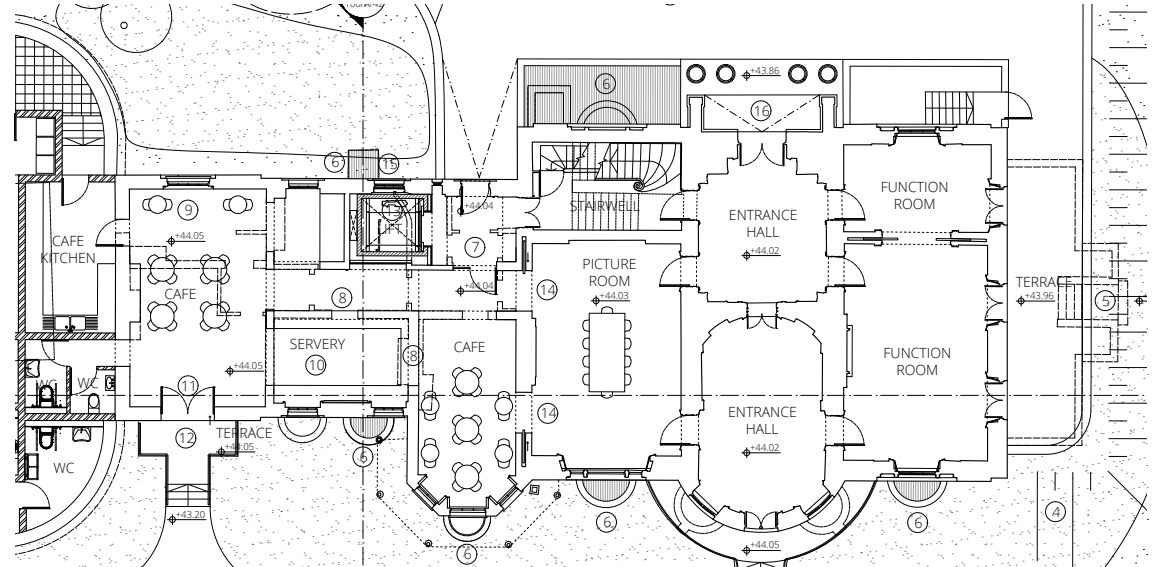
Interior perspective image illustrating the use of the Function Rooms as a community exhibition space.

## 4. DESIGN

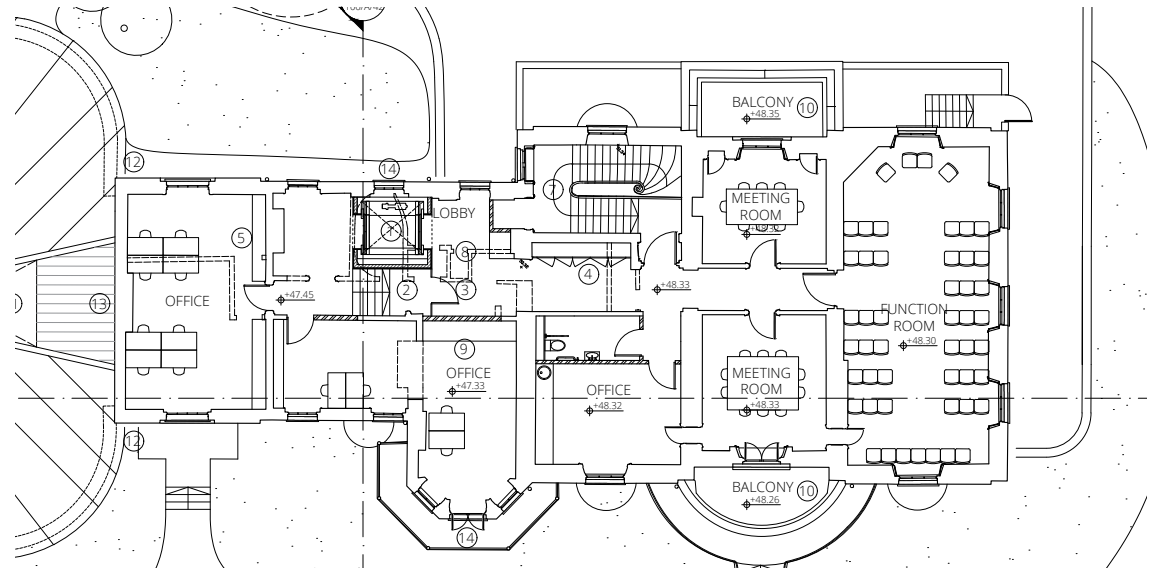
### 4.3 LAYOUT

#### 4.3.3.3 Access

- a. A new landscaped entrance and terrace will provide level access to the Hall via both stairs and a ramp.
- b. A new DDA-compliant lift will be installed in the location of the existing spiral timber staircase. The lift will be visible from the main entrance Hall via the main stairwell.
- c. The existing stone staircase is to be restored and made good, as it is highly significant.
- d. Due to a large (approximately 1m) level difference between the Servants Wing and the Main House on the first floor, a new raised timber floor will be constructed. The new lift will open in both directions onto each level, further providing access to all spaces of the building.
- d. The first floor will undergo renovations that largely restore the layout to its original plan, with emphasis being placed on the axial corridor running through the centre.
- e. The rooms will be used as lettable function rooms (either for primary use or auxiliary to functions held in the new events space) and as venue and volunteer office spaces.



Extract of the proposed ground floor plan of the Main House.



Extract of the proposed first floor plan of the Main House.

## 4. DESIGN

### 4.3 LAYOUT

#### 4.3.4 New Community Events Space

##### 4.3.4.1 Walls

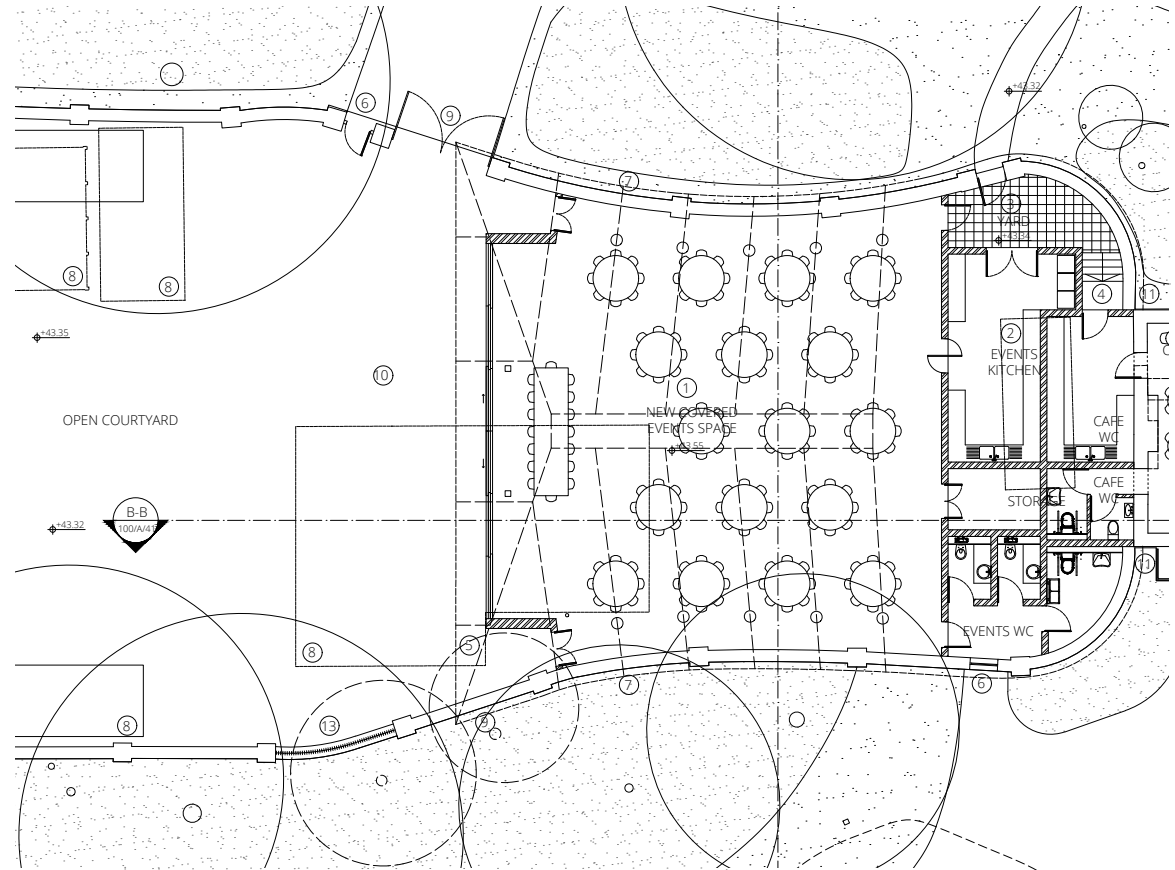
- The minimal areas of new external walls to the community events space are to be constructed out of reclaimed London Stock brickwork to match the existing brickwork and its golden yellow colour on the site.
- Insulation is to be installed to the internal face of the existing yard walls to allow the project to be more energy efficient.

##### 4.3.4.2 Openings

- New gates and doors are to be installed in the existing north-western openings of the yard walls, which will provide access into the new courtyard and service yard for the kitchens.
- An opening will be made on the south eastern yard wall, where security fencing to match those proposed opposite will be installed.
- The existing door opening on the south eastern yard wall, in the space of the Events WC, will be filled in to sill height with brickwork with frosted glazing above to bring natural light into the WC while keeping the memory of the opening in place.

##### 4.3.4.3 Glazing

- A glazed picture window will comprise the façade of the new events space. Divided into sections to visually correspond with the Stables Block façade opposite, the façade will open up to allow access between the enclosed space and courtyard during events and functions.



Extract of the proposed ground floor plan of the Community Events Space.



## 4. DESIGN

### 4.3 LAYOUT

- b. New clerestory windows will be installed along the top of the existing yard walls beneath and behind the roof line. Dark-tinted with the appearance of being frameless, the glazing will allow a clear separation between the new roof and existing walls, enhancing the appearance of the historic asset that is the existing building.

#### 4.3.4.4 *Programme*

- a. The large portion of area will be flexible open space for functions, events, and general, organised community use.
- b. Spaces that serve both the new café and the events space will occur adjacent to the existing building.



Interior perspective of the proposed café, looking into the Picture Room through two new openings in the existing wall.

## 4. DESIGN

### 4.3 LAYOUT

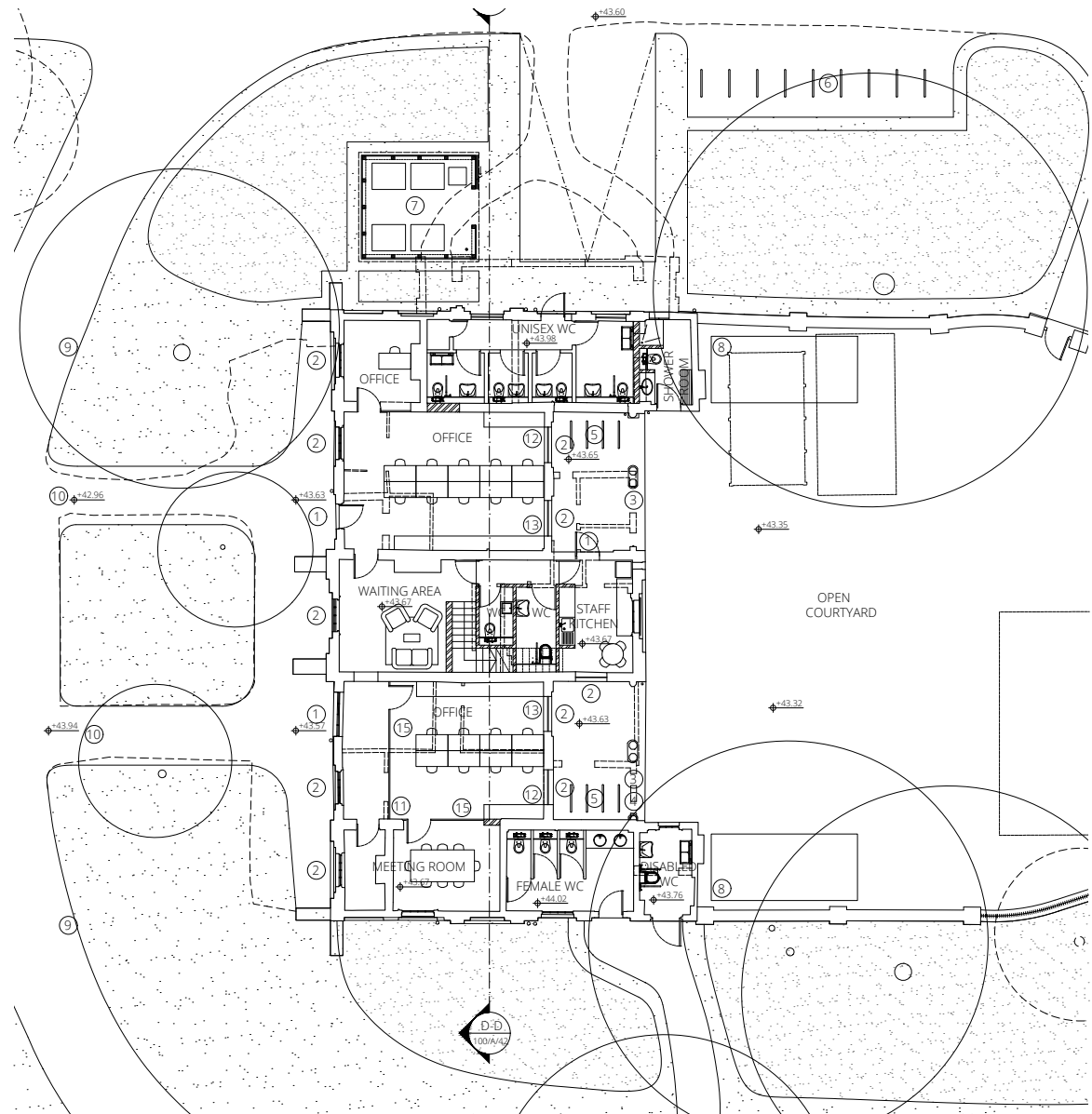
#### 4.3.5 The Stables and Public Toilets

##### 4.3.5.1 Exterior and façades

- The primary work proposed for the Stables Block is the restoration of the north-eastern elevation to its original c.1812 design through the removal of ad hoc additions made over time, the reconstruction of new columns and details to bring about symmetry, and the renovation and making good of the existing columns and details.
- New openings will be created to restore the symmetrical north-eastern façade and bring natural light into the office spaces inside the building. Similarly, on the south-western elevation, glazed portions will be installed in the existing openings, and an entrance to the offices will be made to the left of the central opening.
- The existing male public toilets (north-western elevation) will be removed and the façade restored to its original design. In that vicinity will be constructed a new refuse store (see 4.3.7 for more details relating to refuse), which will be in large part concealed by vegetation planted around it. The store will be enclosed by a slatted timber screen and roof to be recessive to the Stable Block.

##### 4.3.5.2 Public toilets

- The existing public toilets that fall within the enclosure of the original Stables layout will be renovated.
- The toilets on the north-western side will be non-gender-specific and those on the south-eastern side will be for female use.



Proposed ground floor plan of the Stables Block.

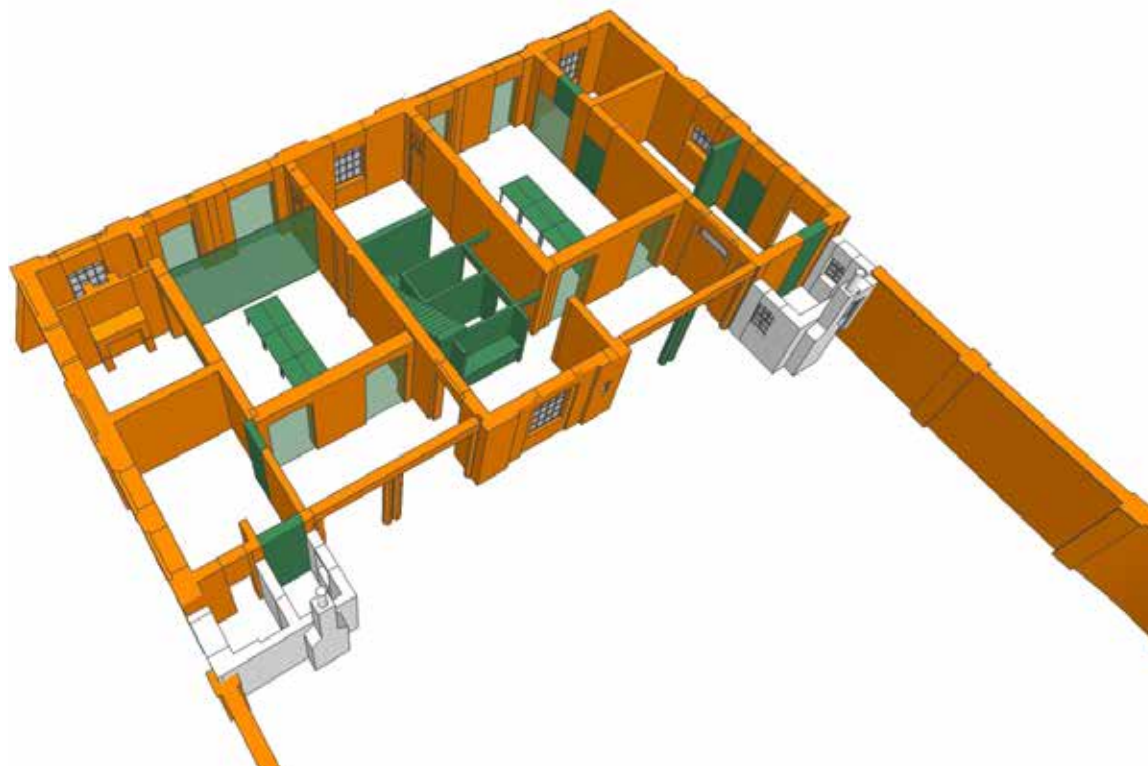
## 4. DESIGN

### 4.3 LAYOUT

- c. A new shower room will be installed for private use by LB Lambeth staff, in support of cycle-to-work schemes.

#### 4.3.5.3 *Internal layout*

- a. The original layout of the stables is to be largely restored, corresponding with the heritage significance plans that illustrate well-proportioned rooms symmetrical about the central space. The rooms will be used as office spaces for the LB Lambeth Parks staff.
- b. A new kitchen will be installed for staff use.
- c. A new central 'core' will be built to accommodate two staff toilets, one of which will be DDA-compliant, as well as a reconstructed timber staircase to give access to the first floor.
- d. The first floor will be renovated, mostly due to the position of the new staircase but also the demolition of partitioning, to bring about a new open plan office space for use by LB Lambeth staff.



Perspective diagram, coloured to correspond to the Heritage Significance drawings, illustrates the proposed changes to the Stables Block.



## 4. DESIGN

### 4.3 LAYOUT

#### 4.3.6 The Grounds Maintenance Depot at Norwood Lodge

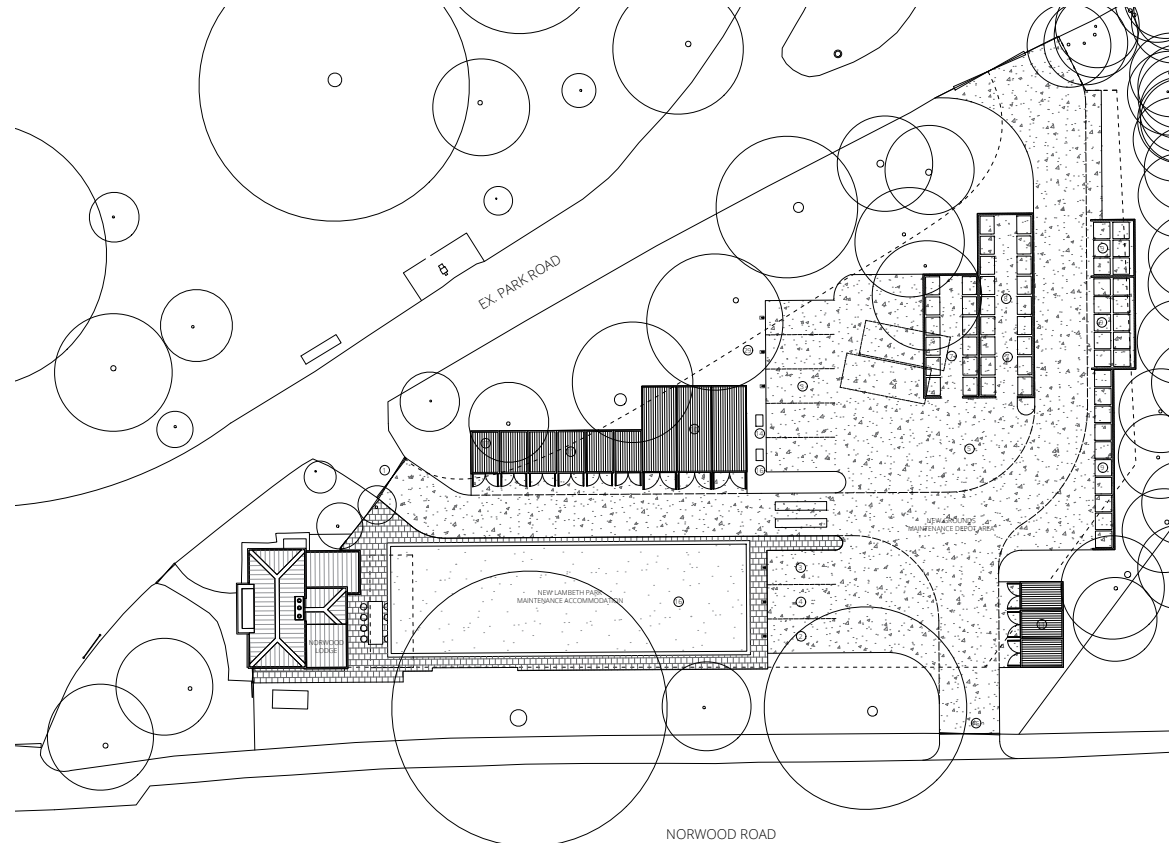
4.3.6.1 Norwood Lodge is used by the Brockwell Park Community Partners (BPCP) group as storage and meeting space. It is to be retained and does not fall into the scope of works of this project.

##### 4.3.6.2 Depot area

- New hardstanding will be constructed on the site, giving space for new parking for staff and overnight use. Amenities such as electric car charging points, water points, and fuel pumps will be provided.
- Refuse and recycling bins will be placed so as to be accessed by refuse removal trucks and taken from the area. Zones for topsoil and mulch are proposed to run along the north-eastern edge of the site. Storage containers will be placed on the site along the road.

##### 4.3.6.3 Vehicular access and thoroughfare

- The depot's amenities are arranged so as to allow for efficient movement of vehicles, from cars to trucks, into and through the site.
- Park vehicles and cars will enter through the existing gate of the site, and travel along the one-way route to exit at the new gate on the site's north-western boundary.
- Vehicular tracking on the site drawing illustrates how trucks will move around and through the depot. A gated exit point is proposed for trucks along the site's boundary with Norwood Road.



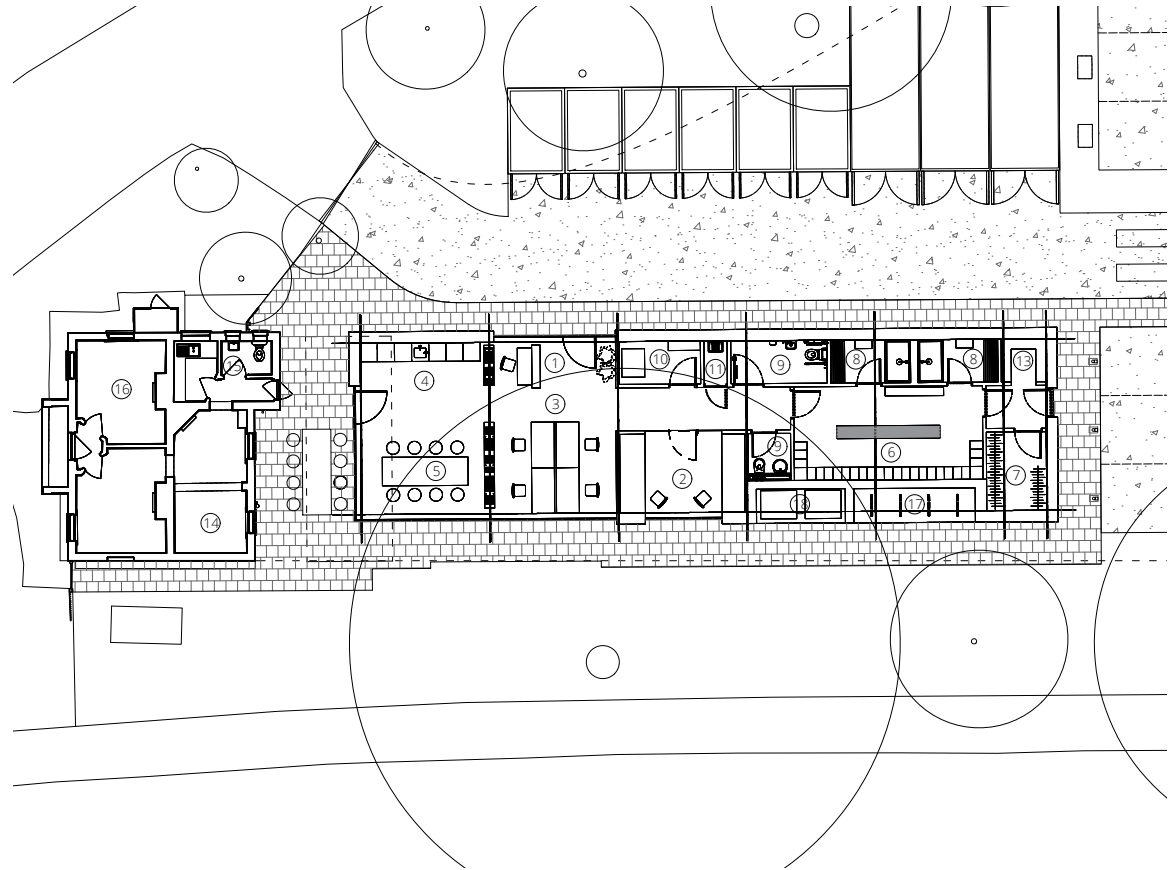
Extract of the proposed site plan of new maintenance depot.

## 4. DESIGN

### 4.3 LAYOUT

#### 4.3.6.4 *Staff accommodation building*

- a. The surrounding area of the lodge's site is currently used by the park maintenance staff for refuse, compost, and vehicular storage. This area is part of the overall scheme, as a new prefabricated building is proposed to accommodate the staff who will be relocated here from the current Stables Block.
- b. The building will offer lockers and change rooms, bathrooms (one of which will be DDA-compliant) and showers, a new kitchenette, and bicycle storage.



Extract of the proposed ground floor plan of new maintenance depot.

## 4. DESIGN

### 4.3 LAYOUT

#### 4.3.7 Refuse and recycling

##### 4.3.7.1 Brockwell Hall area

- A new enclosure, adjacent to the Stable Block on the north-western side, is proposed for the storage of refuse accumulated from Brockwell Hall (café), the new Community Events Space, and the offices in the Stable Block.
- Refuse will be stored in this enclosure temporarily before being moved down each day by park maintenance personnel to the refuse store at the new Grounds Maintenance Depot. From there, all refuse gathered from the park will be collected by council-run refuse removal trucks.
- For the refuse capacity calculations, we have referred to guidance set out in Lambeth Council's *Waste & Recycling Storage And Collection Requirements*.
- Based on this guidance, the nearest classification applicable to the Community Events Space is 'Restaurants & Fast Food Outlets.' Using these requirements, and those for offices, the café, the Community Events Space, and the Stables Block would together require around 7000 litres of refuse capacity. Refer to the adjacent table for a breakdown of these calculations.

- Because the Events Space would not function wholly as a restaurant or food outlet, but instead would have sporadic occasions where food is brought to (not prepared) in the kitchen, and with refuse only temporarily being stored close to the Hall before being taken down each day to the depot at Norwood Lodge, it is proposed that an

approximately 5000ℓ-litre capacity storage area will be sufficient.

- The enclosure will accommodate two 1280ℓ-capacity recycling bins, two 1100ℓ-capacity waste bins, and a 360ℓ-capacity food waste bin.

##### 4.3.7.2 New Grounds Maintenance Depot

- The refuse capacities at the new depot are governed by the client's (LB Lambeth Parks) brief, and so provision has been made to fulfill these requirements.
- The proposal includes a bin store at the depot that can accommodate 30 bins, approximately a portion of which will be used for recycling waste.
- Collection of refuse will occur from the new depot, and the proposal allows sufficient space here to accommodate the minimum turning area for the council's waste collection vehicles.

REFUSE Brockwell Hall Area						
Use area		Area m²		Capacity rate Litres per m² of nett floor area		Capacity required ℓ
				ℓ	m²	
Café		161		10000	1000	1608.3
Community Events Space		481		10000	1000	4811.4
Offices	Venue and volunteer offices	23	278	2600	1000	723.58
	LBL Offices	256				
Total capacity required						7143.28

Table showing required refuse capacities at Brockwell Hall.

## 4. DESIGN

### 4.4 SCALE

#### 4.4.1 Brockwell Hall and Community Events Space

- a. The most visible intervention of the proposal at Brockwell Hall is the New Community Events space. Other interventions, to do with the restoration and renovation of the Hall and stables, do not impact the existing fabric visually.
- b. The roof of the events space has been very much considered and is central to consultations with Historic England for its potential impact on its historic context.
- c. The proposal, illustrated alongside, is more sensitive to its context, with a reduced height and overhang. The roof sits atop a line of clerestory windows to separate it from and give prominence to the existing yard walls.
- d. Additionally, the vegetation that surrounds the yard is well established, rendering the current yard walls and above barely visible. In the proposal, this quality is to remain, as it ties into the original landscape design that sought to make the Stables Block and Yard recede to give the Hall prominence.



Proposed north-western elevation of Brockwell Hall and the new Community Events Space.



Proposed south-eastern elevation of Brockwell Hall and the new Community Events Space.



## 4. DESIGN

### 4.4 SCALE



Diagrammatic section illustrating the proposal's proportion to Brockwell Hall.



3D collage showing the proposal as an underlay to the existing vegetation.

## 4. DESIGN

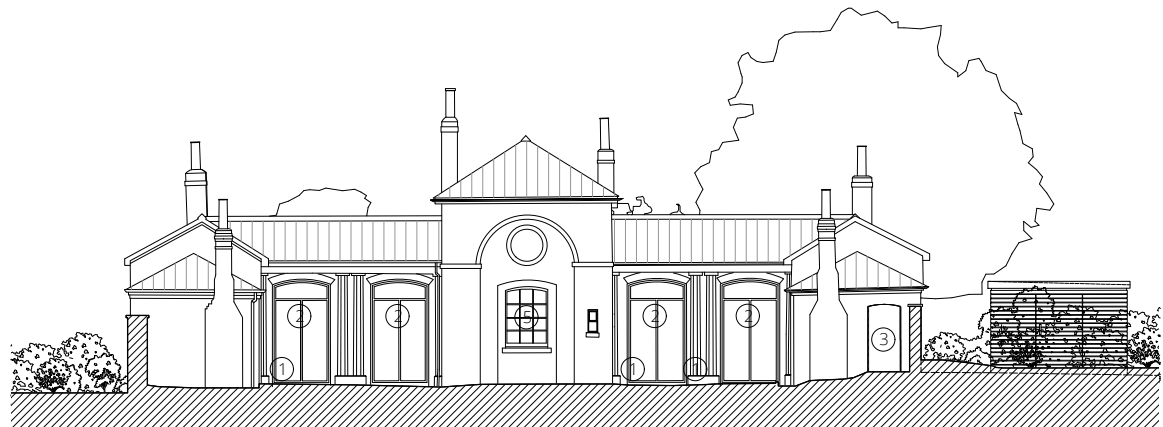
### 4.4 SCALE

#### 4.4.2 Stables Block

- a. Given that the interventions proposed for the Stables Block are mostly internal, the only visible or experienced change in scale is due to the proposed demolition of the wall that conceals the urinal of the male public bathrooms, on the north-western elevation.
- b. The proposed refuse store, although an intervention on this elevation, will be recessive to the Stables Block through its own materiality (slatted timber) and concealment by existing and new vegetation.
- c. This demolition, and the slight alterations to the openings (fenestration and doors) on the south-western elevation will restore these perspectives of the building to their original.
- d. On the north-eastern elevation, which faces into the Stable Yard, the reconstruction of the façade according to the historic layout and design will restore the elevation to its original grandeur, which will allow the new Community Events Space and repurposed yard to integrate into the historic setting and fabric of Hall and Stables Block.



Proposed north-western elevation of the Stables Block.



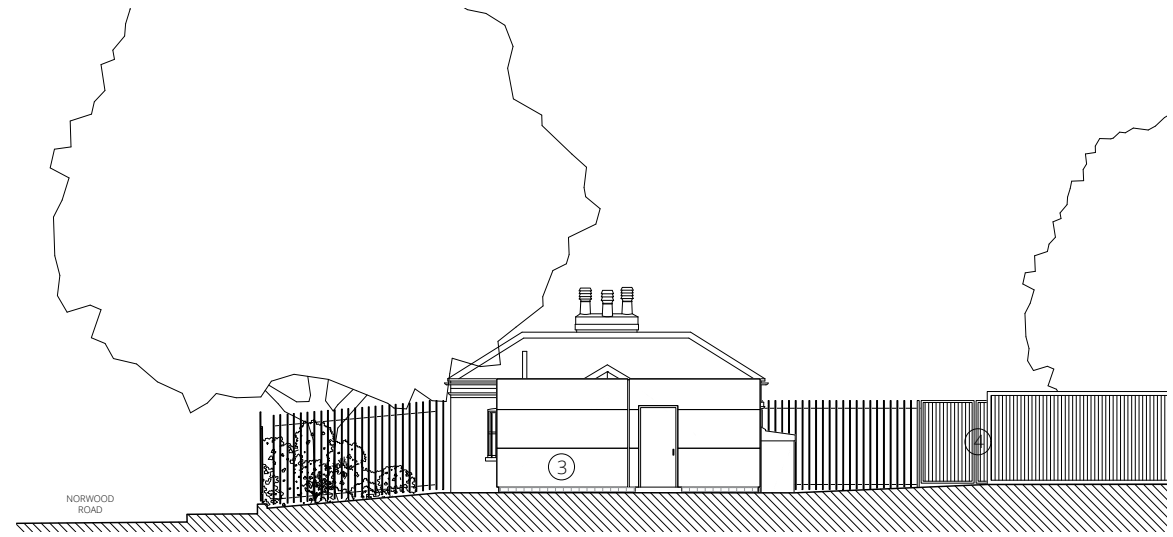
Proposed north-eastern elevation of the Stables Block.

## 4. DESIGN

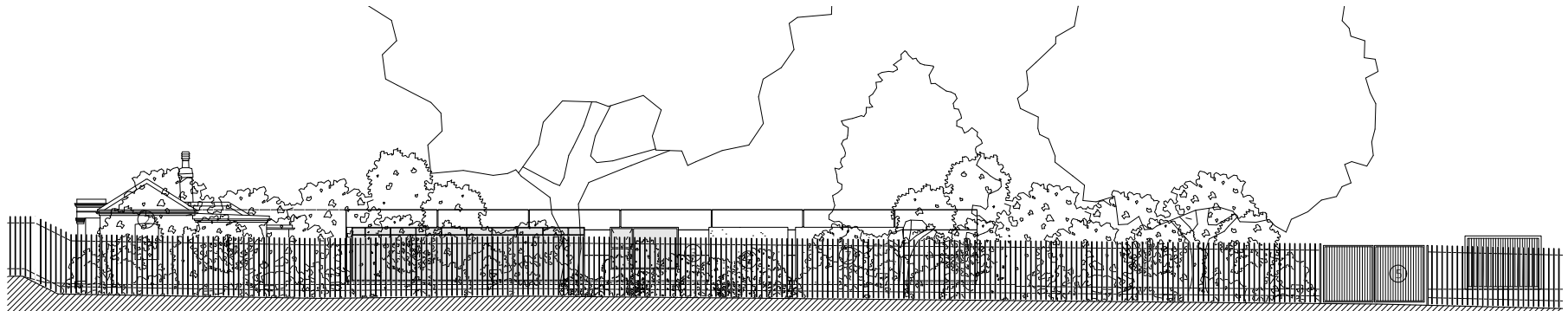
### 4.4 SCALE

#### 4.4.3 Grounds Maintenance Depot

- a. At the new Grounds Maintenance Depot, a staff accommodation building is proposed. The scale of this new build holds concern for the residential context of the site at the south of Brockwell Park, as a new facility highly visible from the street and in conflict with the lodge could be unsightly.
- b. For this reason, a prefabricated building that corresponds to the proportions of Norwood Lodge is proposed. The height of the building aligns with the primary eaves of the lodge, while its rectangular form linearly spreads the programme across the site and prevents a bulkier mass.
- c. Established vegetation along the fence that borders the site by the road assists in concealing the building.
- d. The building will be clad in aluminium sheeting, with a colour to be determined later that will allow the building to blend more into the context.



Proposed north-eastern elevation of the staff accommodation building with Norwood Lodge behind.



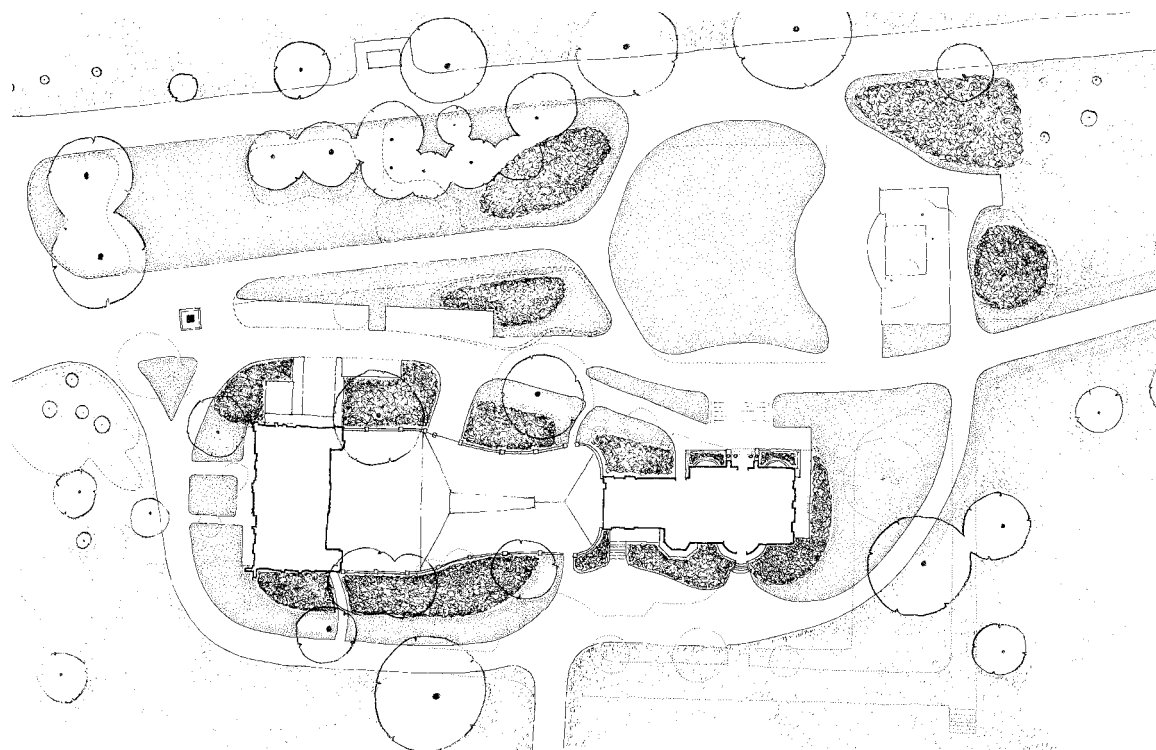
Proposed south-eastern elevation of the staff accommodation, along Norwood Road.

## 4. DESIGN

### 4.5 LANDSCAPING

#### 4.5.1 Landscaping around the Hall

- 4.5.1.1 Comparing the existing landscaping condition and layout to that of the 1870s, as the adjacent drawing illustrates, shows that a more curvilinear design approach was taken in the original layout around the Hall.
- 4.5.1.2 While shrubbery has always existed to screen off the buildings adjacent to the Hall, alterations to the layout have brought about more rectilinear areas of hardstanding (tarmac) right up the building and reduced its natural setting.
- 4.5.1.3 The proposed design will reinstate the curvilinear approach while maintaining a level of screening to the buildings auxiliary to the Hall.
- 4.5.1.4 The approach will mean that the amount of hardstanding around the Hall is reduced and that planter beds and lawns are refined to bring softer edges to the Hall.
- 4.5.1.5 Vegetation that screens the Stable Block and Yards will mostly remain for the same purpose, with a small number of trees of lower significance being removed to restore a more harmonious natural setting.



Proposed landscaping plan.



## 4. DESIGN

### 4.5 LANDSCAPING

#### 4.5.2 Use and access

- 4.5.2.1 Central to the proposal is providing accessibility to the Hall for all to use. A large component of this is the new landscaped area to the north west of the Hall, where a new ramp and staircase will bring users up to the Hall's ground floor level.
- 4.5.2.2 The intervention here will largely comprise of grassy embankments and paving, and will provide symmetry to the north-western elevation of the Hall.
- 4.5.2.3 In plan, the intervention will integrate itself into the restoration of the historic setting by becoming part of the elliptical forecourt illustrated in the landscaping plan.
- 4.5.2.4 A new parking area is proposed to the north west of the Stables Block, and is comprised of two loading bays for delivery trucks, and two DDA-compliant parking bays for office staff and visitors to the Hall and Community Events Space.
- 4.5.2.5 The driveway in front of the Hall and Stables will be closed for thoroughfare, used only for drop-offs and and refuse removal. The area in front of and around the Hall is to feel more pedestrian, harking back to the 'pleasure ground' of the original design.



Proposed landscaping and stairs at the approach to Brockwell Hall.

## 4. DESIGN

### 4.5 LANDSCAPING

#### 4.5.3 Biodiversity of Brockwell Park

- 4.5.3.1 For more details on potential ecological interest, constraints and recommendations for this proposal, as well as for an in-depth survey of biodiversity in the park, refer to the Preliminary Ecological Appraisal in Appendix F.
- 4.5.3.2 In standing with ecological requirements to sustain the rich plant and wildlife that currently exists in the park, biodiversity supported by the habitats that exist in the vicinity of the proposals needs to be carefully considered and enhanced.
- 4.5.3.3 *Trees*
- Scattered and lines of mature trees exist in the park, with many being in fair to good condition according to the Arboricultural Survey (Appendix G) conducted in July 2020. The trees support nesting birds and insects.
  - A small number of trees will be removed as part of the proposals to restore the Hall's historic setting. The most significant loss will be the Blue Atlas Cedar, which lies to the north-eastern side of the Hall, and has been damaged by the loss of a significant limb. Other less-significant removals occur within the well-established shrubbery and groups of mature trees surrounding the Hall and Stables and will not have a significant impact on habitat or wildlife.



Wildflowers and planted beds for pollinator species at Norwood Lodge.



Damaged Cedar tree proposed to be removed from the north eastern side of the Hall.

## 4. DESIGN

### 4.5 LANDSCAPING

#### 4.5.3.4 *Other habitats*

- a. Mature introduced shrubs around the Hall and Stables currently contain pollinator species and provide cover for birds and nectar for bees and other insects. Ornamental shrubs and plants proposed for the new refined planter beds will enhance this.
- b. Maintained amenity grassland (or lawn typical of private grounds), while considered to be of little botanical interest, promotes soil fauna such as earthworms, which in turn supports bird life and even small mammals. The reduction of tarmac in the area in favour of more lawn areas encourages this.
- c. The make-up of scrub surrounding Norwood Lodge is mostly of that which grows among less-maintained areas of hardstanding and where garden refuse has been left, which is the case for the current depot area. With little ecological importance to the area, the new hardstanding proposed for Norwood Lodge is understood to have little impact.



Proposed increase of amenity grassland closer to the Hall.



## 4. DESIGN

### 4.6 ENERGY

#### 4.6.1 Energy Statement

4.6.1.2 An energy statement has been produced by SVM Consulting engineers. The strategy demonstrates that the proposed renovations and new builds (Community Events Space and the staff accommodation building) complies with Building Regulations, Lambeth Council Local Plan requirements and NLHF sustainability guidance.

#### 4.6.1.3 Renovations

a. The report outlines the following consequential improvements planned in the renovations of the Main House and Stable Block:

- Provision of new high-efficiency LED lighting
- Provision of new efficient local extract systems for WC and kitchen areas
- Stripout and replacement of existing hydronic heating systems, including provision of new gas fired condensing boilers

#### 4.6.1.4 New builds

a. The report proposes a series of energy-efficient measures to adhere to the policy requirements of the National and Local Authority development plans, and reviews the technical feasibility of various renewable technologies. Passive and active measures adopted on the site are:

- Enhanced fabric efficiency of the building envelope
- High performance glazing systems
- Air tightness better than Part L 2013 standards
- High efficiency lighting
- Highly efficient plant and systems

- b. As highlighted by the below tables, the site achieves compliance with Building Regulations with a 0.4% reduction of the regulated emissions over the notional Target Emission Rate (TER).
- c. The New Events Space and Maintenance Building are predicted to consume a total of 55,710kWh of energy per annum, at a total cost of £6,359.50. The carbon footprint is predicted to be 19,418kgCO<sub>2</sub> per annum.

	Carbon Dioxide Emissions for Non-Domestic Buildings (Kilogrammes CO <sub>2</sub> Per Annum)		
	Regulated	Unregulated	Total
Baseline: Part L 2013 of the Building Regulations Compliant Development	11,983	7,482	19,466
Proposed Design	11,935	7,482	19,418

Table 11: Total carbon emissions

	Energy Demand for Non-Domestic Buildings		
	kWh/yr	p/kWh	£/yr
Natural Gas	31,118	4.90	1,524.80
Electricity	24,592	19.66	4,834.70
Total	55,710	-	6,359.50

Table 12: New build energy demand and costs



## 4. DESIGN

### 4.7 TRANSPORT

#### 4.7.1 Transport Assessment

- 4.7.1.1 Central to these proposals is to create a highly sustainable development. The site is highly accessible and in accordance with the suggested Travel Plan will be advertised to future users as such.
- 4.7.1.2 The proposals incorporate minimal parking provision in line with LBL policy and provide cycle parking in excess of London Plan standards. Project Centre have been employed by LB Lambeth to carry out a detailed Transport Assessment (TA) of these proposals that considered all key transport elements of the development, including parking, access, trip generation and predicted impacts upon the surrounding transport network. The TA can be found in Appendix J.
- 4.7.1.3 *Conclusions*
- Summarised below is Project Centre's conclusion of the TA (Section 8, 'Conclusion and Recommendations').
  - The relocation of the Ground Maintenance Depot to the edge of the park boundary will bring several benefits for transport operations:
    - Reduction in operational vehicles travelling through the park to the Hall/Stables
    - Removal of vehicles from the Grade II Listed stable yard
    - A more accessible road-side location for the operation

- The proposals will generate a net reduction in operational and refuse vehicle movements through the park which will create an improvement to pedestrian amenity. A new refuse-only egress to Norwood Road is proposed, which will allow managed exit movements from the Depot. This will further reduce refuse vehicle movements through the park and Brockwell Park Gardens.
- The proposals are in accordance with current national, LBL and London Plan policy.
- The development proposals are acceptable in transportation terms.



## 4. DESIGN

### 4.8 ECOLOGY

#### 4.8.1 Preliminary Ecological Appraisal

4.8.2 Brockwell Hall and Norwood Lodge have been assessed for their biological interest in the Preliminary Ecological Appraisal, which can be found in Appendix F.

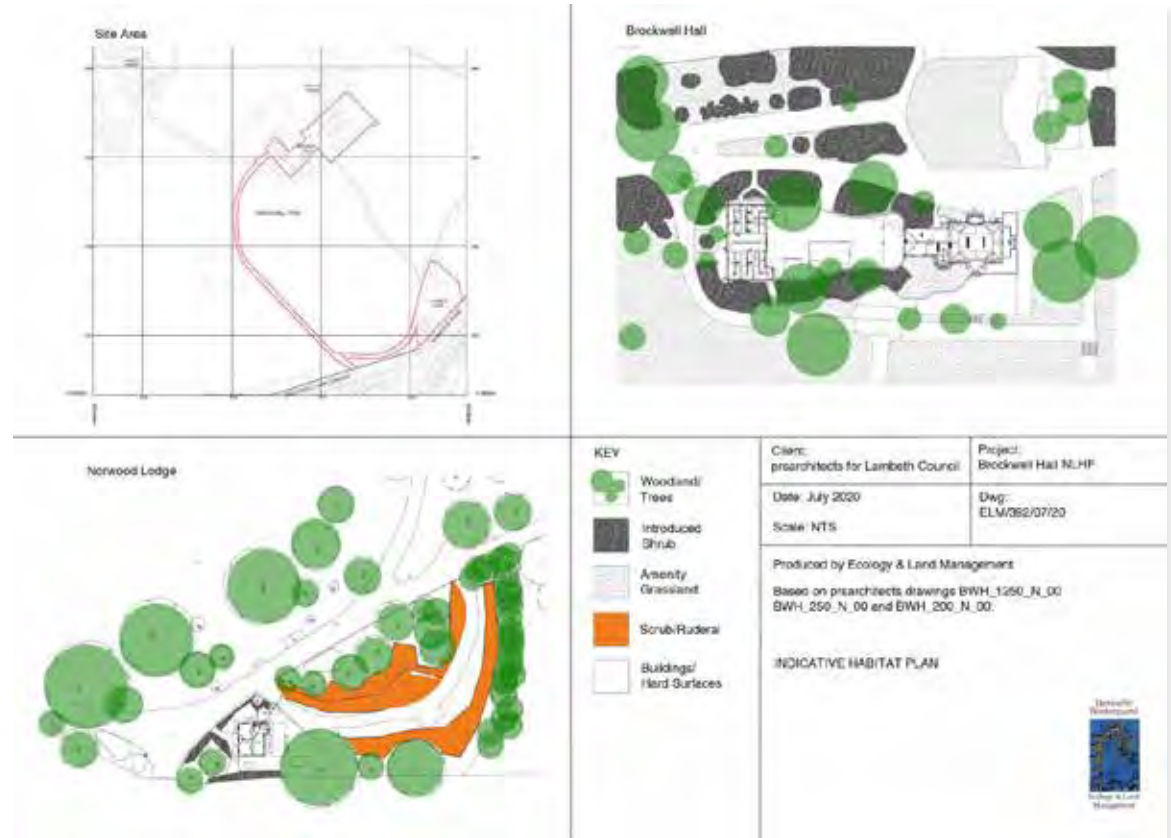
4.8.3 The report's aims are to:

- identify the ecological habitats and protected species, if any
- provide recommendations for species surveys as necessary
- identify significant features for retention and protection
- identify features for enhancement, and
- provide outline recommendations

4.8.4 Based on the report's concluding recommendations, the proposed scheme and it's long-term management will enhance biodiversity in the area by:

- maintaining existing trees to provide habitat for a range of species
- incorporating shrubs and wildflowers, including those that produce nectar, berries and fruits, into the proposed landscaping
- installing wildlife shelters for bird, bats and insects
- creating hedgehog connectivity along boundaries
- ensuring that the lighting scheme is sensitive to wildlife

4.8.5 A bat emergence survey will occur before work begins on site.



## 4. DESIGN

### 4.9 APPEARANCE

4.9.1 The overall appearance of the scheme can be broken down into the following points, which are the key rationale behind the design of the proposal.

#### 4.9.2 Heritage

4.9.2.1 There is a heritage requirement to restore existing historic buildings, especially listed buildings, but also their setting and wider context, if they are in a state of disrepair. Through this proposal, Brockwell Hall and its associated buildings will be restored to their former glory.

#### 4.9.2.2 Heirarchy

a. The overarching visual impact of the proposal is to retain and, in the case of the new Community Events Space, ensure the Main House's (that is, Brockwell Hall as a separate element to the Servants Wing) prominence across all the buildings.

b. This is currently aided by the existing, thick vegetation that surrounds the buildings. This will further be enhanced by the landscaping proposal that seeks to bring only ornamental and soft landscaping around the Hall, but retain larger shrubbery and trees around the rest of the buildings.

c. The roof of the New Community Events Space has undergone many iterations to ensure its subservient appearance to the Hall and Servants Wing.

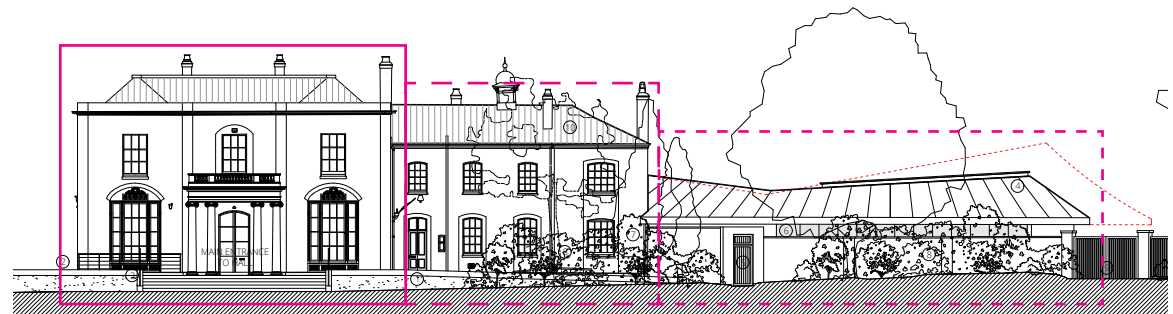
#### 4.9.2.3 External façades

a. The Heritage Significance drawings, especially the elevations, highlight that the façades of Main Hall and Servants Wing are very highly

significant, and those of the Stable Yard and Block (save for the ad hoc insertions for the public bathrooms) are highly significant.

b. A new door will be installed in the location of the existing opening on the south eastern façade of the Servants Wing. This is essential in making the café operate as a separate amenity to the other offerings of the Hall. A small terrace of timber construction with stainless steel balustrades will be installed, giving access to and from the park for the public visitors.

c. Restorative work is proposed for the Stables Block, which will reinstate the original symmetrical layout of columns on the north eastern façade.



Main Hall elevation is to remain most prominent feature throughout scheme.

## 4. DESIGN

### 4.9 APPEARANCE

#### 4.9.3 Economic

- a. A further rationale is the need for economic sustainability, which in turn is necessary to enable Brockwell Hall to participate in social investment (Core Strategy Policy 8), such as making sure that the café and Community Events Space remain publicly accessible spaces, through free events and offering the space to the community at reduced rates.
- b. The Hall's spaces will be used between the exhibition and café, although each will be independent of the other. The café is solely for public use, while the Function Rooms are lettable and can be closed off for private events, which could occur in the evenings as well as days throughout the week. Programmed events and activities will determine the day-by-day functioning of the Community Events Space, which is flexible in its offerings from weddings to markets to community classes. A day-to-day programme has been drawn up for both Summer and Winter and is included in the business plan.
- c. Essentially, the proposal will engage users with the park's historic assets at multiple levels. The Community Events Space will sit within the walls of the Stable Yard, creating a sense of place between old and new. The café and lettable rooms will provide an everyday accessibility to the Hall's original layouts, while the interpretative exhibition will engage the public in the building's past.





## 4. DESIGN

### 4.9 APPEARANCE

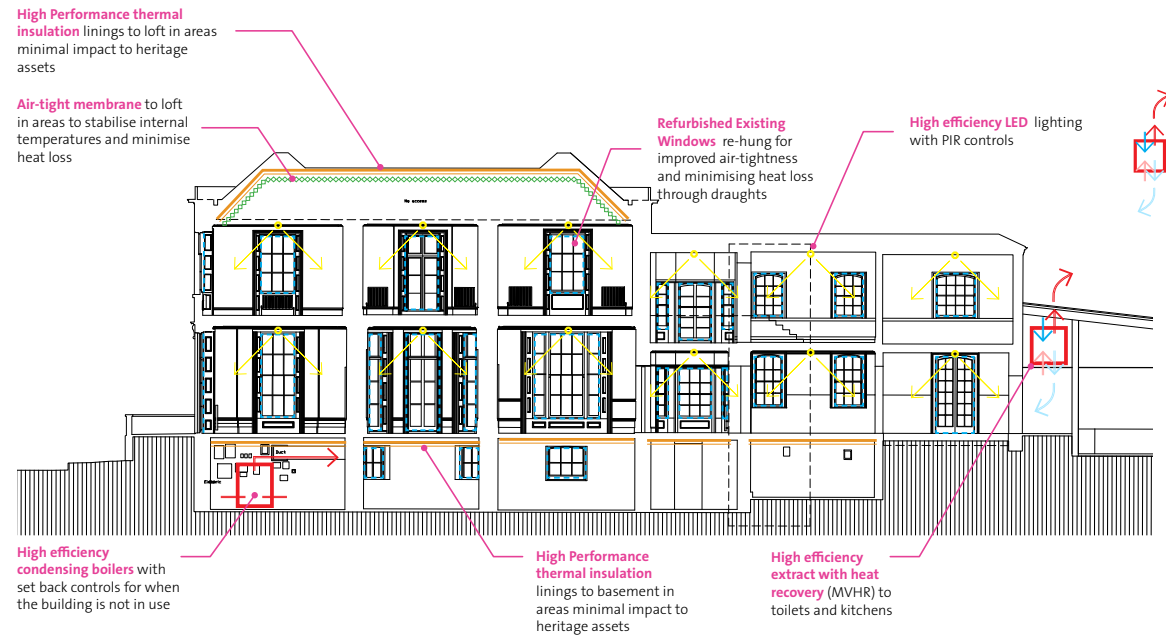
#### 4.9.4 Safety

- The Community Events Space and Stable Yard will be closed when not in use by new lockable gates.
- Similarly, the new Grounds Maintenance Depot will be governed by the park staff's operating hours, with new gates being closed and locked outside of working times.
- The office spaces proposed for the Stables Block will be able to engage directly with the Stable Yard and surrounds while also being able to look out into it from both the ground and first floors. The staff using these offices every day will bring security to the space through a sense of ownership and surveillance.
- The position above ground of the café's interior and the new terrace will provide adults an elevated position to oversee toddlers and children playing in the park in front.
- External lighting is important in the approach to all buildings and the Stable Yard.
- The public toilets will be managed and locked outside of the park's opening hours.

#### 4.9.5 Energy and sustainability

##### 4.9.5.1 Brockwell Hall and Stables Block

- The following steps will be taken in response to relevant policy, to improve the energy consumption and sustainability of Brockwell Hall and the Stable Block.
- The refurbishment of the existing spaces will see



new efficient boilers, pumps and heating controls installed. The existing gas pipework will be tested and reused to serve the boiler if possible.

- This system allows for zoned heating to each floor level in the Hall and each office in the Stable Block.
- Passive, natural ventilation will be used for most rooms, with mechanical ventilation required for the Stable Block toilets only.
- All existing timber windows will be replaced with double glazed timber windows.
- Building materials will be reclaimed or locally sourced, such as London stock brick, wherever

possible.

- The lighting scheme will use energy saving LED light sources, with PIR sensors to control lights in occasional access rooms.

## 4. DESIGN

### 4.6 APPEARANCE

#### 4.9.5.2 *Community Events Space*

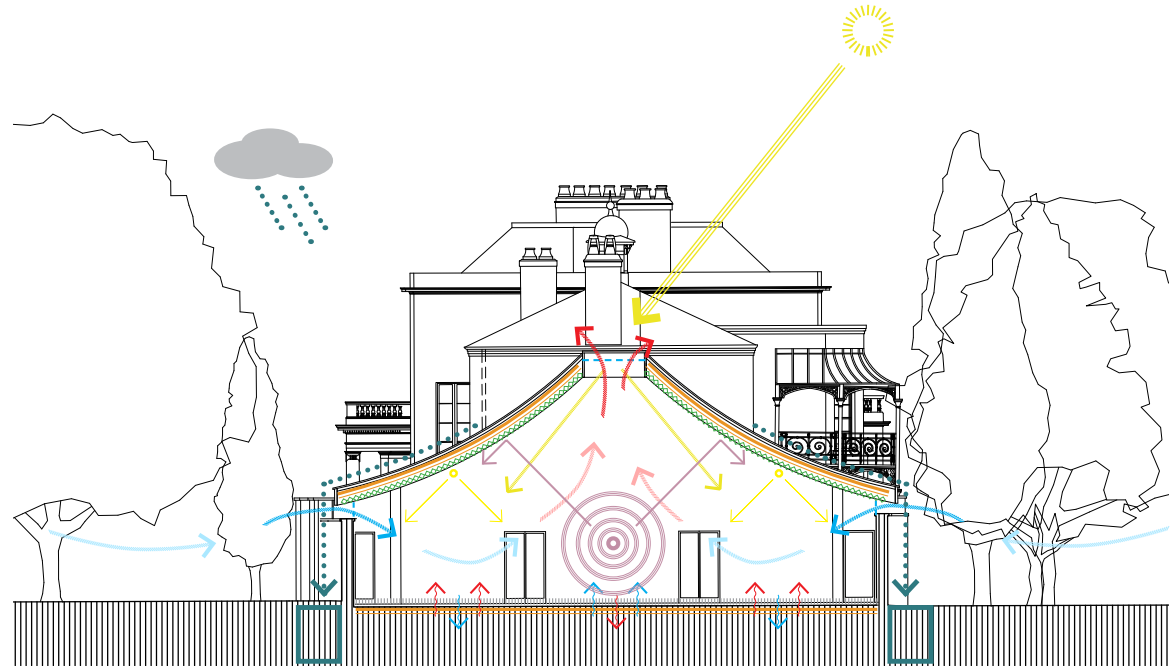
- This new build will be passively ventilated, with an electronically-operated opening rooflight.
- A rainwater harvesting system will be integrated into the roof design. Harvested water from the roof would be stored in a ceiling void and used for toilet flush water.
- Solar shading and film will be applied to glazing where required. Photovoltaic panels will be installed to face south west.

#### 4.9.5.3 *Grounds Maintenance Depot*

- The new prefabricated staff accommodation building at the depot will be naturally ventilated in all rooms.
- A rainwater harvesting system will be integrated into the roof design. Harvested water from the roof would be stored in a ceiling void and used for toilet flush water.

#### 4.9.5.4 *Drainage*

- Sustainable Urban Drainage Systems (SuDS) are to be integrated into the new components of the proposal, namely the new Community Events Space and staff accommodation building at the new Grounds Maintenance Depot.
- Impervious hardstanding, such as Grascrrete pavers, will be used where required to reduce pooling and, in the case of the new Grounds Maintenance Depot which sits at the bottom of the hill of Brockwell Park, flooding.



## 4. DESIGN

### 4.6 APPEARANCE

#### 4.9.6 Materiality

##### 4.9.6.1 Roofs

- a. Glu-lam timber and steel structure  
Metal sheeting/zinc/aluminium cover  
Existing roofing to remain as is - slate / other

##### 4.9.6.2 Glazing and doors

- a. Clerestory glazing in new build to be dark-tinted to allow for the new roof and existing yard walls to have clear separation line.
- b. All existing burglar bars and safety screens to be removed from stable block windows. Alternative safety measures will be used instead (Confirm).

##### 4.9.6.3 Walls

- a. New external masonry walls to be constructed with reclaimed London Stock brickwork to match the existing brickwork on the site. This golden yellow coloured brick can be sourced locally and is produced from the underlying London clay. It is in frequent use today as well as having been used abundantly in many of the Georgian and Victorian buildings around the London region.
- b. New stone coping will be installed atop existing yard walls to assist in separation between new elements (roof) and existing (yard walls).

##### 4.9.6.4 Hardstanding

- a. York Stone is proposed for the paving at the main entrance and the terrace on the North-East elevation.
- b. Buff-coloured chip and tar is proposed for driveway resurfacing.

#### Hall

**Roof**  
Existing slate tiles

**Details**  
Existing stonework

**Windows**  
Existing (re)ainted timber frames and glazing

**Brickwork**  
Existing masonry, cleaned

**Ironwork and railings**  
Existing, repainted and cleaned

**Hard standing**  
Chip and tar



#### Events Space and Stable Yard

**Roof**  
Zinc / other metal sheeting

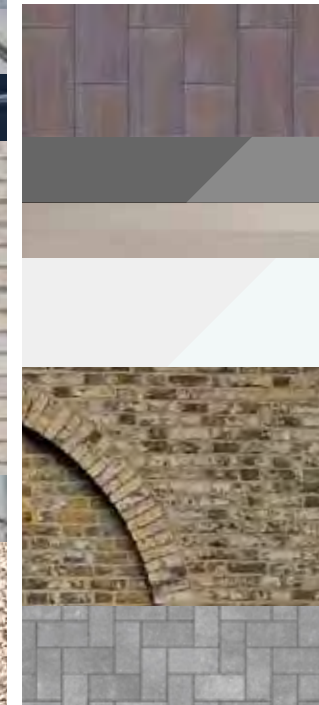
**Clerestory windows**  
Dark-tinted double glazing

**Coping**  
Stone

**Picture window**  
Clear double glazing

**Brickwork**  
Existing and reclaimed masonry, cleaned

**Hard standing**  
Stone/concrete pavers



Index of proposed materials to be used in the scheme.

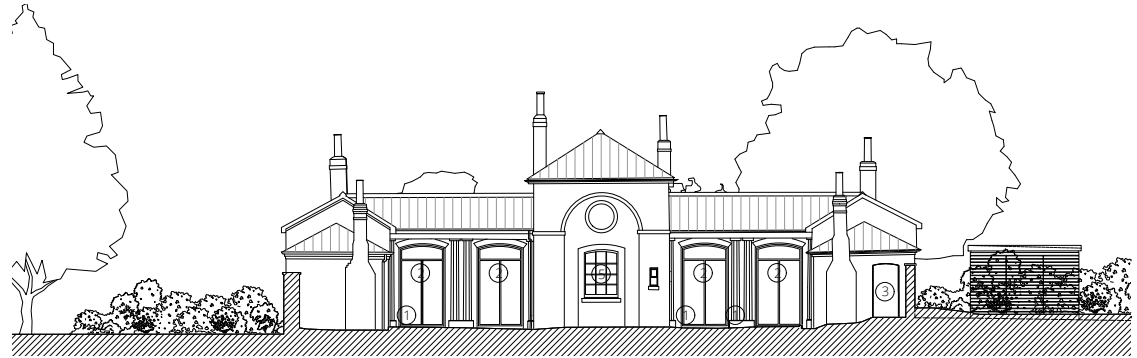
## 4. DESIGN

### 4.6 APPEARANCE

#### 4.6.6.5 *Refuse store*

New refuse store to north west of Stable Block will be enclosed by robust timber screen and roof, which will be slatted for ventilation.

Vegetation surrounding the store could be encouraged to grow to a high level to conceal the structure. The structure is nevertheless intended to be subservient to the existing Stable Block, at a maximum height of 2500mm.



Extract of the proposed Stable Block North East elevation.



Extract of the proposed Stable Block North West elevation.



## 5. ACCESS

### BROCKWELL HALL

#### 5.1.1 Ground floor level

##### 5.1.1.1 Level access at entrance

- a. The proposed landscaping at the Hall's entrance will bring users up to the ground level of the Main House via a ramp or stairs.

##### 5.1.1.2 Lift

- a. Arriving in the entrance Hall of the Main House, visitors will be able to look through the stairwell towards the café. From here, the proposed lift will be visible.
- b. The lift will provide access to both the first floor and basement levels.

##### 5.1.1.3 Raised timber floor in café

- a. To mitigate a substantial level difference between a portion of the Servants Wing and the rest of the ground floor, a new raised timber floor is proposed.

##### 5.1.1.4 Café toilet for public/patron use

- a. The proposed toilets within the new build accessed from the café will comprise of one DDA-compliant toilet and one baby-changing facility. Both toilets will be unisex.
- a. The toilets will be for public use, but will be under the designation of the café.

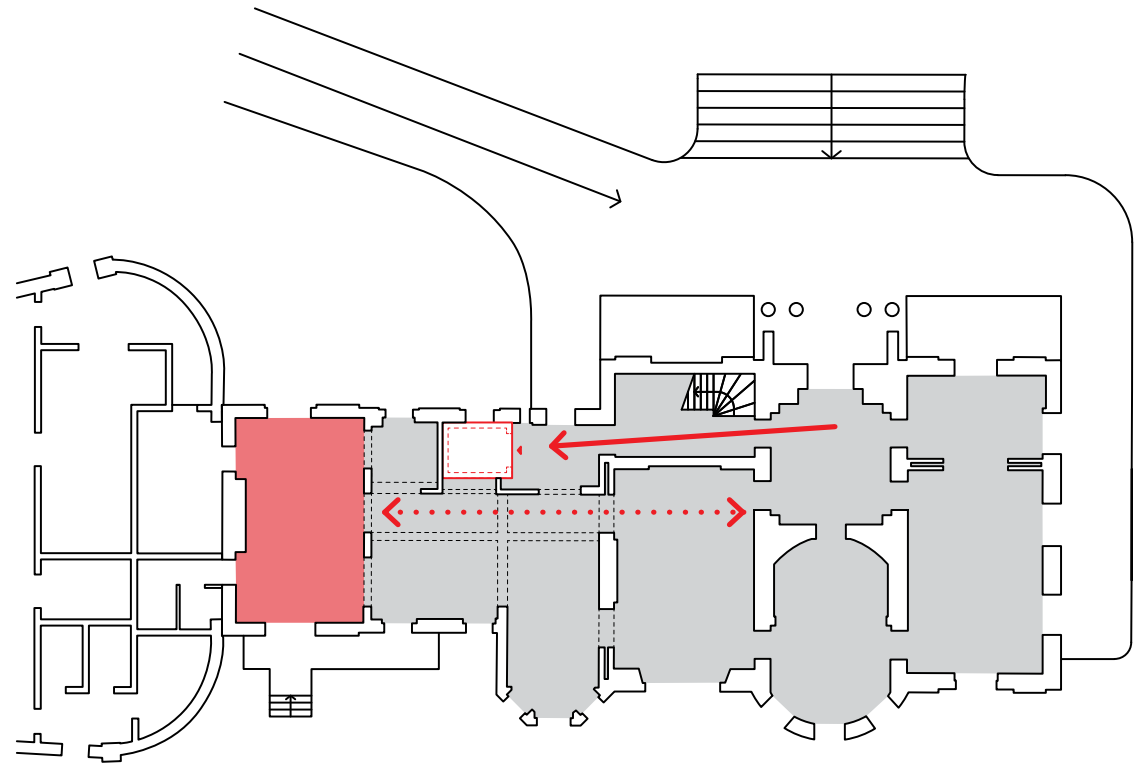


Diagram illustrating proposed level access in ground floor plan of the Main House and Servants Wing.

## 5. ACCESS

### BROCKWELL HALL

#### 5.1.2 First floor level

##### 5.1.2.1 *Level difference between Servants Wing and Main House*

- An almost-1m difference currently exists between the Servants Wing and Main House first floor levels. The proposal will mitigate this by the addition of a new raised timber floor.
- The new lift will access both levels on either side of the shaft, bringing users up to the Servants Wing level as well as the Main House level.
- New stairs will join the two levels.

##### 5.1.2.3 *DDA-compliant toilet*

- A new unisex DDA-compliant toilet will serve the first floor.

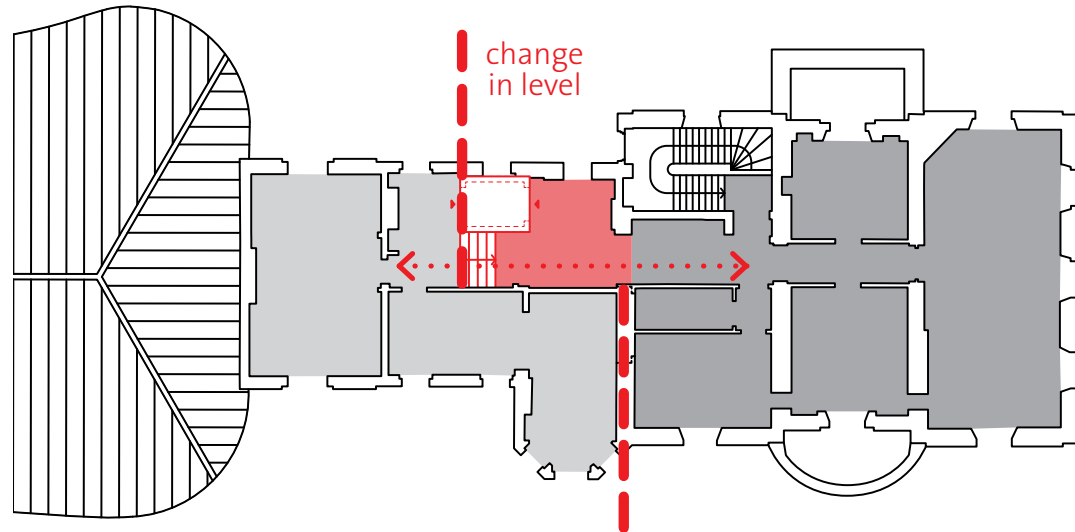


Diagram illustrating proposed level access in first floor plan of the Main House and Servants Wing.

## 5. ACCESS

### OTHER BUILDINGS

#### 5.1.3 Events space and Stable Yard

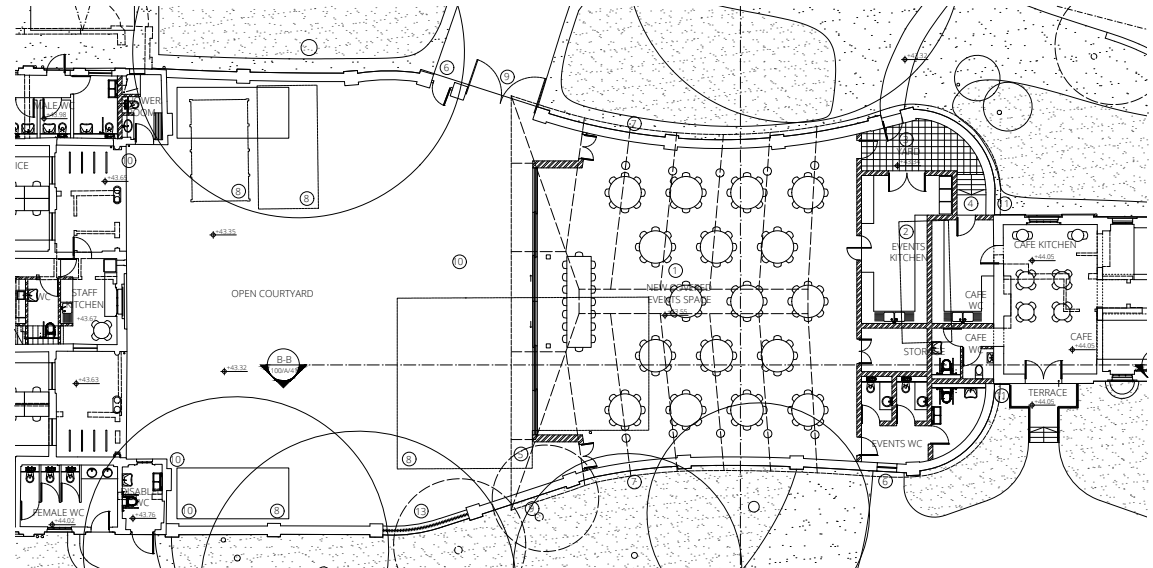
- 5.1.3.1 Level access will be provided throughout the Events Space from the Yard.
- 5.1.3.2 A DDA-compliant toilet is provided in the proposed new build unisex toilets.
- 5.1.3.3 For events held outside in the Stable Yard, DDA-compliant toilets can be accessed in the refurbished unisex public bathrooms.

#### 5.1.4 Stable Block

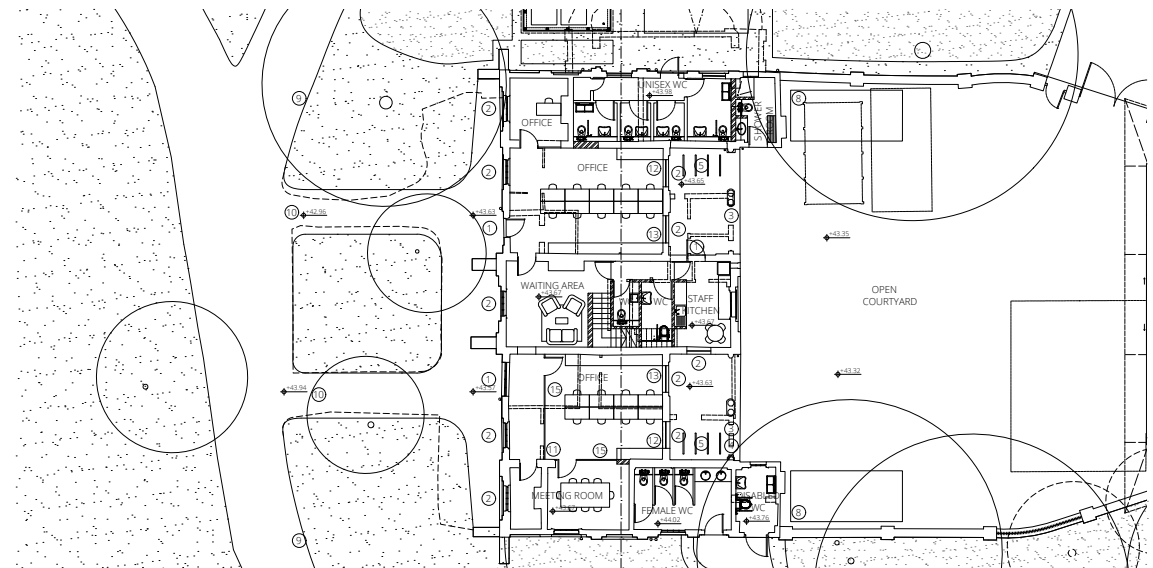
- 5.1.4.1 Level access is provided throughout the Stable Block.
- 5.1.4.2 A unisex DDA-compliant toilet is provided for staff use.
- 5.1.4.3 The refurbished public bathrooms, for use by the visitors in the park, will be fully accessible. In total, 3 DDA-compliant toilets will be provided; one alongside (but separately accessed from) the female bathrooms on the south-eastern side, and another two in the unisex bathroom on the north-western side of the Stables Block.

#### 5.1.5 Norwood Lodge

- 5.1.5.1 The new staff accommodation building will provide level access throughout, with one unisex DDA-compliant toilet proposed for staff use.



Extract of the proposed ground floor plan of the Community Events Space.



Extract of the proposed ground floor plan of the Stables Block.